

Application No: LU3235/24-2

12 August 2024

Brown & Son Construction 2009 Ltd
C/- Design Workshop Architecture
5/1008 Ferry Road
Ferrymead
Christchurch 8023
Attention: Craig Richardson

Dear Craig

Resource Consent Application: Notice of Decision on Non-notified Application

I am pleased to inform you that your application for resource consent to change conditions to original consent LU3235-24 was granted (our ref. 3235) on 12 August 2024. The decision and the consent conditions are attached.

It is very important that you understand and comply with all the conditions of your consent. If you have any questions or concerns about any aspect of your consent or its conditions, I would be happy to discuss them with you.

Please be aware that there may be ongoing monitoring.

You may commence your activity immediately, unless you lodge an objection to this decision as per the second page of this decision under section 357 of the Resource Management Act 1991. Also, before you can build you will require a building consent therefore that will need to be obtained, please contact the Building Inspectors.

The costings for this resource consent have not yet been calculated, an invoice or refund will follow shortly.

Please feel free to contact me on 03 769 8607 if you have any questions or concerns.

Yours faithfully,



Melissa Stenhouse
Environmental Planning Officer

Application: LU3235-24
Valuation Number: 25640/376.00, and 25640/377.00

12 August 2024

Brown and Son Construction 2009 Ltd
C/- Design Workshop Architecture
5/1008 Ferry Road
Ferrymead
Christchurch 8023

By email: craig8393@me.com

Dear Sir/Madam

LU3235-24-2 – DECISION ON APPLICATION FOR CHANGE OF CONDITIONS

Further to your application to vary conditions of Land use consent LU3235-24 to construct 8 Accessible Residential Dwellings at 14 and 16 Doyle Street, within the Residential Environmental Area, through delegation pursuant to section 34A of the Resource Management Act 1991 (the Act), has considered your application pursuant to section 127 of the Act for a change of condition of the above resource consent.

This application is a Discretionary Activity in accordance with section 127 of the Act.

The application was considered on a non-notified basis and a decision has been made to grant the change of conditions of LU3235-24-2.

The approved amendments are to delete Condition 7(1).

Reasons for decision pursuant to section 113 of the Act

1. The proposed change is minor in nature and will not result in any noticeable differences to what has already been approved.
2. The revision will not result in any additional impacts or adverse effects.
3. The applicant provided written approval from all parties considered to be affected by the original proposal.

A copy of the decision for LU3235-24-2 is also attached. The decision has been amended to reflect the above with changes.

Objection to certain decisions and requirements of consent authorities (refer section 357A of the Act). You have the right to object to all or part of the Council's decision on your application. If you wish to object, an objection supported by reasons must be lodged in writing with the Council within **15 working days** of your receipt (or receipt by the person who filed the application on your behalf) of the Council's decision.

Please contact the Environmental Planning Department of the Grey District Council if you have any questions regarding this decision on (03) 769 8607.

Your Sincerely



Jono Begg
Consultant Planner

LAND USE CONSENT LU3235/24-2

- 1 This resource consent is granted by the Grey District Council pursuant to section 42A of the Resource Management Act 1991 (the Act) and is subject to the attached conditions imposed in accordance with section 108 of the Act.
- 2 This Consent is Granted to: Brown and Son Construction 2009 Ltd
- 3 Application Description: It is proposed to construct 8 Accessible Residential Dwellings at 14 and 16 Doyle Street, within the Residential Environmental Area.

LU3235-24-2, to remove age restriction on units.
- 4 Property Address: 14 Doyle Street and 16 Doyle Street
- 5 Legal Description: Lot 1 Sec 32 DP 415, Lot 2 Sec 32 DP 415, and Lot 4 DP 3326
- 6 Valuation Number: 25640/376.00, and 25640/377.00
- 7 Date of Decision: 7 June 2024
- 8 Date of Decision of Variation: 12 August 2024



Leonie Mullions
Senior Environmental Planner
Delegated Authority

Any text with a ~~strike through~~ has been removed from this resource consent and is no longer valid.

LAND USE CONSENT LU3235/24 – 2 – SCHEDULE OF CONDITIONS

Pursuant to section 108 of the Resource Management Act 1991 this resource consent is subject to the following conditions:

1. General

- (1) The consent holder shall comply with the application and plans lodged 16 April 2024 and further information received 9 May 2024, unless inconsistent with any of these conditions.
- (2) The consent holder shall comply with the site plan that was received as part of the application or part of further information; attached and marked 'B'.

2. Setbacks

- (1) The units are to be built as shown on the site plan submitted and attached, marked 'B', at a distance no less than 2.7 metres from the Doyle Street road boundary and no less than 2.4m from the Coakley Street road boundary.

3. Lighting

- (1) All external lighting must be angled so that they do not spill any more than 2.5 lux or of light (horizontal and vertical) onto the adjoining property, measured at any point more than 2 metres inside the boundary of the adjoining property or the windows, whichever is the closer.

4. Landscaping and Screening

- (1) The consent holder shall landscape in accordance with the attached Landscape Plan marked 'C'.
- (2) Condition 4.1 shall be completed prior to the occupation of any dwelling.
- (3) All landscaping shall be maintained to an acceptable standard at all times. Any diseased or damaged landscaping shall be replaced within one (1) month of discovery with plants of similar species. Refer to advice notes for definition of acceptable standard.

5. Entranceway(s)

- (1) Council are to be notified when the demolition of the existing crossing occurs.
- (2) Entranceways to the site shall be formed and sealed to Grey District Council Urban Entranceway standard, attached and marked 'D', at full cost to the consent holder.

6. Services

- (1) Utilities connection consent must be obtained prior to any of the proposed services being installed.

~~7. Units occupancy restrictions~~

- ~~(1) The consent holder must ensure that the primary occupants of all units are no less than 60 years old.~~



8. Cost

- (1) All actual and reasonable costs incurred by the Council in monitoring, enforcement and administration of this resource consent shall be met by the consent holder.

9. Review

- (1) Pursuant to section 128(1) of the Resource Management Act 1991, the consent authority may, at or within 6 months of any anniversary of the date of consent, review the conditions for any of the following purposes:

- a) To deal with any adverse effect on the environment which may arise from the exercise of the consent and which is appropriate to deal with at a later stage;
- b) To require the adoption of the best practicable option to remove or reduce any adverse effect on the environment;
- c) To deal with inaccuracies contained in the consent application that materially influenced the decision made on the application and is such that it is necessary to apply more appropriate conditions;
- e) To assess the appropriateness of imposed compliance standards, monitoring parameters, monitoring regimes and monitoring frequencies and to alter these accordingly;
- f) To take account of the rules, regulations and policies set out in any relevant District Plan.

Any such notice of the review of the conditions will be served in accordance with section 129 of the Resource Management Act 1991.



ADVICE NOTES:

1. The consent holder is required to comply with all statutory requirements, bylaws, Acts, ordinances and lawful directions of officers of the Council.
2. Any damage to existing Grey District Council infrastructural assets caused by works associated with the exercise of this resource consent shall be repaired to Grey District Council standard at full cost to the consent holder.
3. Prior to the commencement of any building work building consent will be required.
4. At the time of building the consent holder will need to show the location of the legal boundary of the property, showing either survey pegs or having had a registered surveyor define the boundary positions. This will be required for both building consent purposes and monitoring of this resource consent.
5. Stormwater or overflow shall be disposed of in accordance with the Building Code and Regulations 2002 (E1) Surface Water.
6. The wall of any building which is intended to be subdivided in the future shall be constructed as a firewall in accordance with the New Zealand Building Code 2005.
7. The site is within a known flood hazard area. This matter is being dealt with through the building consent process.
8. You must apply for a road works consent to allow contractors that are associated with your development to park on the street, footpath or other public space. Phone the Council 03 769 8600.
9. All conditions of this consent will be monitored by Council staff at any time to ensure compliance with the condition of consent. Please also refer to the condition headed 'costs'.
10. All works on public road reserve will require a road-works consent from the Transport Department of the Grey District Council. This will include any connection to Council services.
11. The consent holder shall advise Heritage New Zealand immediately on the discovery of any archaeological sites or areas uncovered by earthworks associated with construction of the road, and that the sites or areas shall not be modified or disturbed in any way unless written authorisation is first obtained from Heritage New Zealand.
12. Maintained to an "acceptable standard" for fencing and landscaping requires:
 - Removal and replanting of diseased and deceased plants;
 - Removal of moss and lichen growth;
 - Removal of rubbish;
 - Removal of weeds;
 - Removal and replacement of any broken and/or rotten timber.
 - Removal and replacement of any rusting metal sheeting



REASONS FOR DECISION PURSUANT TO SECTION 113 OF THE RESOURCE MANAGEMENT ACT 1991

1. The proposed activity is consistent with objectives and policies of the operative Grey District Plan and proposed Te Tai o Poutini Plan subject to the imposition of conditions.
2. This proposal has not been found to be inconsistent with any of the following provision:
 - The New Zealand Coastal Policy Statement
 - The West Coast Regional Policy Statement
 - West Coast Regional Plans
 - National Environmental Standards
 - National Policy Statements
3. Written approvals have been provided by several adjacent land owners and so effects on those properties are able to be disregarding, result in the activity having less than minor and acceptable adverse effects.
4. The proposal will provide accessible accommodation to elderly and provide a benefit to the community in this regard.
5. The proposed infringements are suitably mitigated through landscaping which is required to be maintained by the consent holder.
6. The purposes and principles of sustainable management of the environment, under Part 2, section 5 of the Resource Management Act 1991, will not be compromised by granting this resource consent. All relevant statutory provisions were considered and assessed by Council, under Part 3, section 9 restrictions on use of land. The proposed activity is consistent with Part 5 of the Resource Management Act 1991.

LU3235-24-2 REASONS FOR DECISION PURSUANT TO SECTION 113 OF THE RESOURCE MANAGEMENT ACT 1991

7. The proposed change is minor in nature (removal of the restriction on age of occupants) and will not result in any noticeable differences to what has already been approved.
8. The revision will not result in any additional impacts or adverse effects.
9. The applicant provided written approval from all parties considered to be affected by the original proposal.

Yours sincerely



Jono Begg
Planning Consultant

For

Michael McEnaney
Regulatory Manager
Delegated Authority



A000	PROJECT INTRODUCTION
A101	EXISTING SITE & SEDIMENT CONTROL PLAN
A102	SITE PLAN
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A104	SITE SERVICES PLAN
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A502	SECTIONS
A503	SECTIONS
A504	SECTIONS
A505	SECTIONS
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A602	ELEVATIONS
A603	ELEVATIONS
A604	ELEVATIONS
A605	ELEVATIONS
A606	ELEVATIONS



Doyle Street Development
 14 - 16 Doyle Street, Blaketown, Greymouth
 Resource Consent Issue

B



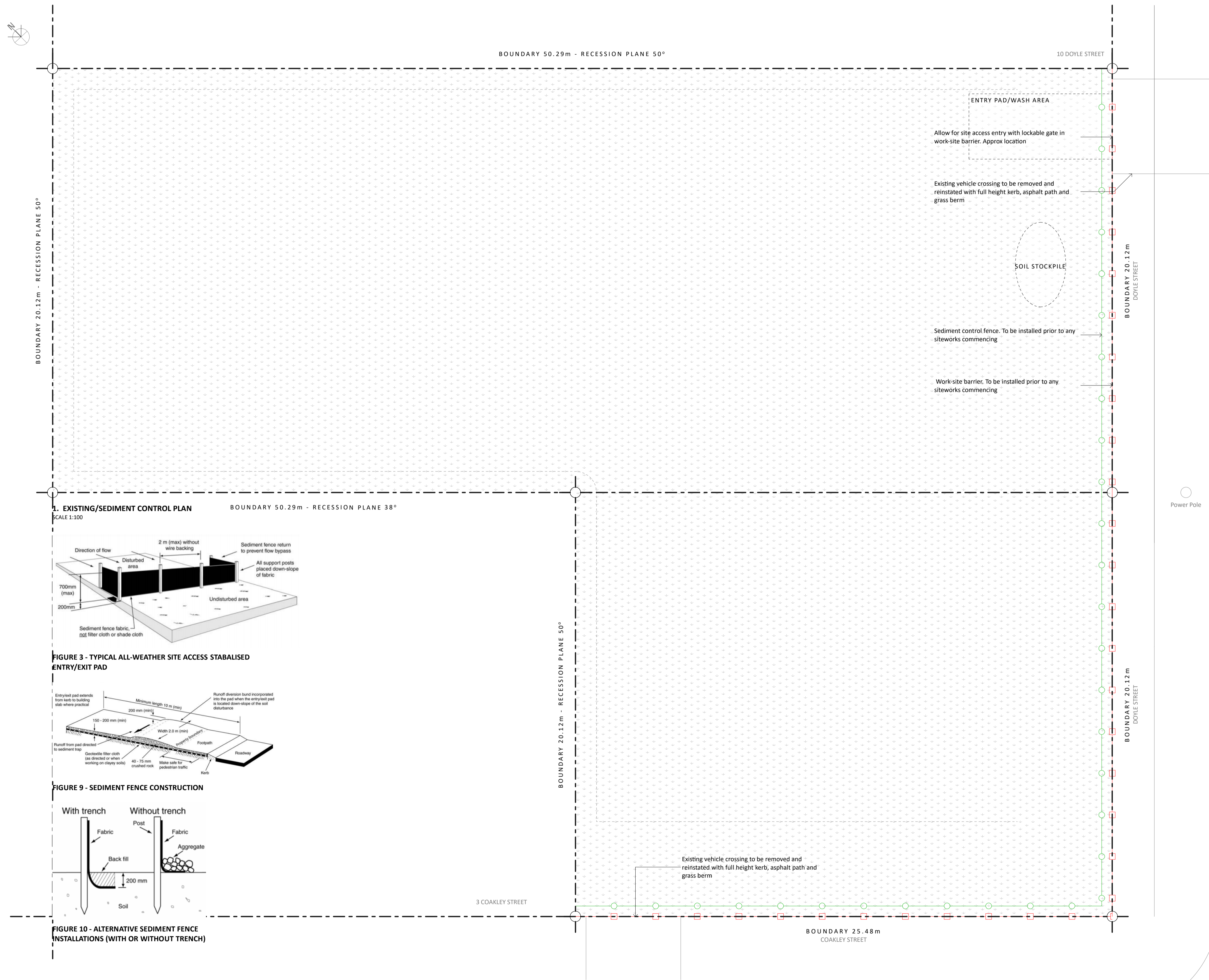
DO NOT SCALE DRAWINGS. ALL CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING WORK OR ORDERING MATERIALS. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS AND VICE VERSA. ALL WORK SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE AND ALL RELEVANT AND ASSOCIATED STANDARDS, CODES AND TERRITORIAL AUTHORITY BYLAWS. ALL PROGRESSIVE ITEMS AND MATERIALS SHALL BE FIXED, INSTALLED OR APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALL WORK SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE BUILDING CONSENT AND ANY RESOURCE CONSENTS ISSUED FOR THIS PROJECT. SITE LEVELS SHOWN ARE AS EXISTING. REFER TO SURVEYOR FOR ACCURATE SITE PLAN DIMENSIONS. A REGISTERED SURVEYOR IS TO SET OUT THE BUILDING BEFORE CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR AMBIGUITIES SHALL BE CLARIFIED WITH DESIGN WORKSHOP BEFORE ANY FURTHER WORK COMMENCEMENT. ALL RIGHTS RESERVED. THIS DRAWING & ALL GRAPHIC & WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES THE ORIGINAL & UNPUBLISHED WORK OF DESIGN WORKSHOP LTD. & MAY NOT BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR PART WITHOUT EXPRESSED WRITTEN PERMISSION. © DESIGN WORKSHOP LTD.

Doyle Street Development
 14 - 16 Doyle Street, Blaketown, Greymouth

STAGE	REV	DATE
Concept	A	-
Truss & Foundation	B	05/10/2023
Resource Consent	C	08/04/2024
-	-	-
-	-	-
-	-	-
-	-	-

SHEET NAME			
PROJECT INTRODUCTION			
CLIENT	Doyle Street Development	SCALE	1:174.34, 1:11 SCALE DOUBLED AT A3
DATE	8/04/2024	DRAWN	SB
JOB NO.	DW1470	CHECKED	DBS

REVISION
Resource Consent Issue
DRAWING NO.
A000



1. EXISTING/SEDIMENT CONTROL PLAN
SCALE 1:100

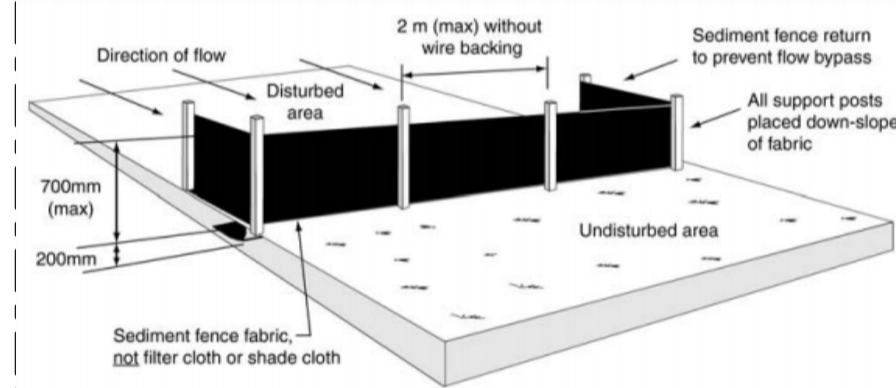


FIGURE 3 - TYPICAL ALL-WEATHER SITE ACCESS STABILISED ENTRY/EXIT PAD

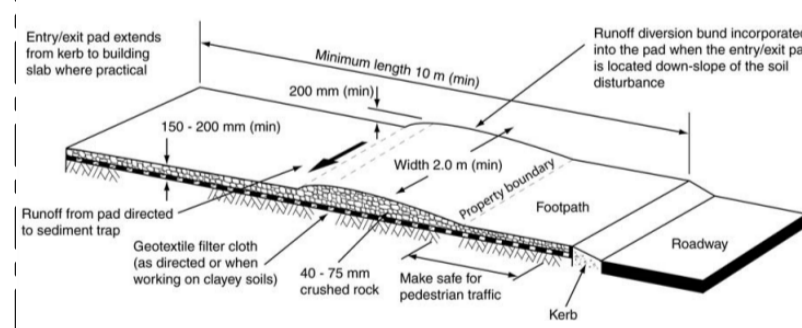


FIGURE 9 - SEDIMENT FENCE CONSTRUCTION

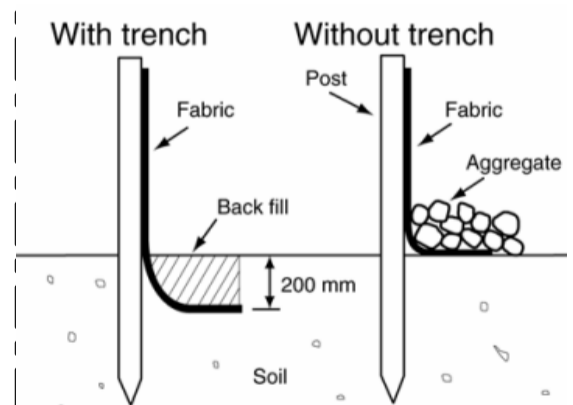


FIGURE 10 - ALTERNATIVE SEDIMENT FENCE INSTALLATIONS (WITH OR WITHOUT TRENCH)

SEDIMENT CONTROLS

Sediment controls to be taken during the construction process. To be read in conjunction with Environment Canterbury's "Erosion and Sediment Control Guideline 2007".

All sediment control measures & structures are to be installed prior to major earthworks and are to be checked and maintained daily as required.

Work area shall be protected by site fencing to comply with F5.

Provide stabilised entry pad & wash down area for contractor vehicles in accordance with ECAN sediment control for small sites.

A runoff diversion bund will be included in the site access way if required. All sediment on footpaths and roads to be removed as soon as practicable.

All ground cover vegetation and trees outside the immediate building area to be preserved during the building phase.

Excavated topsoil is to be spread around the site and flattened where possible. The rest is to be removed from site. While stored on site all soil is to be covered with impervious sheet

Roof water downpipes to be connected to the permanent underground stormwater drainage system as soon as practical after the roof is laid.

SEDIMENT CONTROL RESPONSIBILITIES

Person responsible for implementation and maintenance of sediment controls is:

Mobile: -
Email: -

SEDIMENT CONTROL FENCE:

Refer to Figure 9 & 10 - From Environment Canterbury - Erosion and Sediment Control Guidelines for Small Sites Figure 9 & 10 pg 10

Sediment control fence:



WORK-SITE BARRIERS

Work-site barriers to be installed in accordance with NZBC F5/AS1 Table 1, all work-site barriers to be erected prior to commencement of works.

Work-site Barrier:



LEGEND - LEVELS

Proposed Finished Ground / Surface Level

Existing Ground Level

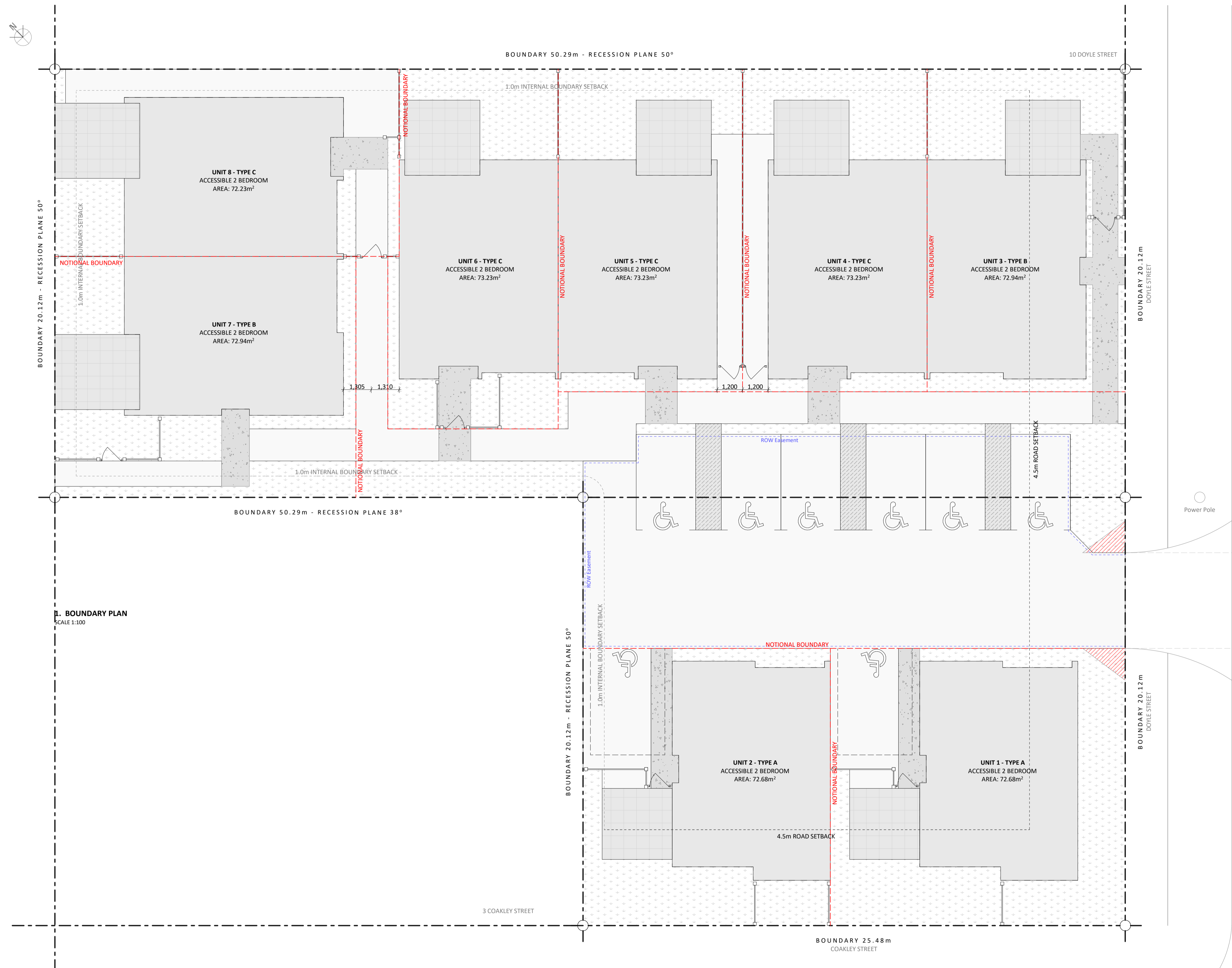
Existing Site Levels based on - survey plan Ref., carried out -

B

STAGE	REV	DATE
Concept	A	-
Truss & Foundation	B	05/10/2023
Resource Consent	C	08/04/2024
-	-	-
-	-	-
-	-	-
-	-	-

SHEET NAME	
EXISTING SITE & SEDIMENT CONTROL PLAN	
CLIENT	Doyle Street Development
SCALE	1:100 SCALE DOUBLED AT A3
DATE	08/04/2024
DRAWN	SB
JOB NO.	DW1470
CHECKED	D8S

REVISION	
Resource Consent Issue	
DRAWING NO.	
A101	



B. BOUNDARY PLAN
SCALE 1:100

PROJECT INFO:

Address: 14 - 16 Doyle Street
Blaketown
Greymouth

Legal Description: Lot 4 DP 3326
Lot 2 DP 415

Site Area: 1524m² (more or less)

Site Coverage: 38.31%

Planning Zone: Grey District Residential
FMA: Yes
Min. FFL: -

Wind Zone: Medium
Earthquake Zone: 3
Exposure Zone: D
Climate Zone: 4

SITE BOUNDARY LEGEND:

- Property/Notional Boundary
- R.O.W. Easement/Access Lot
- Vegetation - Refer to site/landscaping plan for further detail

PROJECT FIGURES:

Gross Floor Area (Over Frame)

Townhouse 1:	72.68m ²
Townhouse 2:	72.68m ²
Townhouse 3:	72.94m ²
Townhouse 4:	72.23m ²
Townhouse 5:	72.23m ²
Townhouse 6:	72.23m ²
Townhouse 7:	72.94m ²
Townhouse 8:	72.23m ²
Total:	580.16m ²

Net Floor Area (Internal)

Townhouse 1:	69.38m ²
Townhouse 2:	69.38m ²
Townhouse 3:	69.04m ²
Townhouse 4:	68.25m ²
Townhouse 5:	68.25m ²
Townhouse 6:	68.25m ²
Townhouse 7:	69.04m ²
Townhouse 8:	68.25m ²

Impervious Areas

Buildings:	580.16m ²
Driveways:	291.94m ²
Path:	185.21m ²
Patio:	100.04
Total:	1,157.35m ²
Percentage:	75.94%

All Landscaping Areas

Total:	248.37m ²
Percentage:	16.30%

Planting Areas

Total:	248.37m ²
Percentage:	1.30%

EXCAVATION VOLUMES
Excluding the building foundations

Driveway:	291.94m ³ x 0.3 = 87.58m ³
Path/Patio:	285.25m ² x 0.1 = 28.53m ³
0.3m Fill (Max Depth)	
0.3m Excavation (Max Depth)	

B



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SHEET NAME
SITE BOUNDARY PLAN

CLIENT	Doyle Street Development	SCALE	1:100 SCALE DOUBLED AT A3
DATE	08/04/2024	DRAWN	SB
JOB NO.	DW1470	CHECKED	D8S

REVISION
Resource Consent Issue

DRAWING NO.
A103



1. SITE SERVICES PLAN
SCALE 1:100

- LEGEND - PLUMBING & DRAINAGE**
- Gully trap (ORG)
 - Floor waste gully trap
 - Terminal vent (80mm dia)
 - Drain Stack
 - Inspection Point to NZBC/AS3500.2
 - Downpipe Connection
 - Flexible connection to match drain pipes size and type
 - NZBC E1/AS1 Type 1 Sump
 - Existing / New drain connection point
 - Rheem 180L Hot Water Cylinder in roof space
 - Installed to manufactures specifications
 - Seismic restraints as per details
 - 1165mm tall x 560mm width cylinder

- GENERAL NOTES**
- Contractor to install all new plumbing fixtures & appliances to manufactures specifications.
 - Contractor to furnish & install all hardware unless noted otherwise.
 - GIB Aqualine to be used in all bathroom areas with oil based paint finish
 - In wall 20mm plywood blocking at all sink, wall sconce, & accessory locations. Contractor to provide all blocking as required for proper installation of item.
 - All entries & exits to comply with NZBC D1/AS1.
 - Floor finishes for wet area rooms to comply with the requirements of NZBC E3 Internal Moisture, refer to layout A13
 - Support and Thermal Movement of Foul Water Drainage system to NZBC/AS 3500.2
 - All services penetrations through the floor slab shall have a flexible seal employed to allow some movement between the pipe and floor.

SANITARY FIXTURES	SIZE	GRADIENT
Basin	40mm	1:40
Bath	40mm	1:40
Washing Machine	40mm	1:40
Dishwasher	40mm	1:40
Kitchen Sink	50mm	1:40
Laundry Tub	50mm	1:40
Shower	40mm	1:40
WC	100mm	1:60
Stormwater	85mm	1:90
	100mm	1:120
	150mm	1:200

Connect to Kerb and channel or existing stormwater connection 1m min. front vehicle crossing. Plumber to assess and confirm on site

Connect to existing water supply (1 existing 5 new). Plumber to confirm location on site

1000 sewer drain @ 1:60. Connect to existing waste water branch (assumed 100mm) with inspection point. Plumber to confirm stability of wastewater pipework & repair if required.

Connect to existing water supply (1 existing 1 new). Plumber to confirm location on site

Connect to Kerb and channel or existing stormwater connection 1m min. front vehicle crossing. Plumber to assess and confirm on site

1000 sewer drain @ 1:60. Connect to existing waste water branch (assumed 100mm) with inspection point. Plumber to confirm stability of wastewater pipework & repair if required.



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14 - 16 Doyle Street, Blaketown, Greymouth

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	-	-
	-	-
	-	-

SHEET NAME		SCALE	
SITE SERVICES PLAN		1:100 SCALE DOUBLED AT A3	
CLIENT	Doyle Street Development	DRAWN	SB
DATE	8/04/2024	CHECKED	DBS
JOB NO.	DW1470		

REVISION
Resource Consent Issue

DRAWING NO.
A104

B



2. FLOOR PLAN - UNITS 1-2
SCALE 1:50

LEGEND - WALLS

- 90mm Timber Framed Wall (external wall)**
 - GIB wall lining (refer to finishes plan)
 - 90 x 45mm studs @ 600 CRS, dwangs @ 800 CRS
 - Building wrap
 - 20mm drained cavity
 - RCS Integra wall cladding

- 90mm Timber Framed Wall (external wall)**
 - GIB wall lining (refer to finishes plan)
 - 90 x 45mm studs @ 600 CRS, dwangs @ 480 CRS
 - Building wrap
 - 20mm drained cavity
 - James Hardie Linea Oblique wall cladding

- 90mm Timber Framed Wall (internal wall)**
 - GIB wall lining both sides (refer to finishes plan)
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS

- RCS INTA120a (intertennancy wall)**
 - GIB wall lining (refer to finishes plan)
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
 - 20mm cavity
 - 50mm INTA120a panel
 - 20mm cavity
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
 - GIB wall lining (refer to finishes plan)

WALL NOTES:

Top Plate Fixing: Top plate to be fixed to studs @ 600 max CRS with 2-90 x 3.15 end nails + 2 wire dogs or 4.7kN alternative fixing unless noted otherwise

Bottom Plate Fixing to Slab: Proprietary anchor's @ 900 max CRS with 50x50x3 flat washer unless noted otherwise

Bottom Plate Fixing to Timber: Refer to "NZS3604:2011 Table 8.19 - Nailing Schedule for hand-driven and power-driven nails"

GENERAL NOTES:

All entries and exits to be in accordance with NZBC D1/AS1.
 Anti-slip on all access routes (both external and internal) provide anti-slip surfaces complying with nzbc d1/as1/ table 2.

Floor finishes for wet area rooms to be slip resistant in accordance with NZBC D1/AS1 table 2 and also to be in accordance with NZBC E3 - Internal Moisture.

Kitchen bench top to comply with NZBC G3/AS1.

Mechanical ventilation for removing moisture shall be vented outside (includes wet areas, clothes dryer & cooking hood, refer nzbc g4/as1 1.3 c.ii.) mechanical ventilation to be 150mm dia 230 cu m/h inline fan ducted to soffit.

Smoke alarms - Cavius Smoke Alarm, be installed to NZBC F1/AS1 with hush facility (3.0m radius)

All exposed fixings to be stainless steel

Contractor to install all new plumbing fixtures and appliances to manufacturers specifications.

Contractor to furnish and install all hardware unless noted otherwise.

Contractor to provide all blocking as required for proper installation of item. In wall 20mm plywood blocking at all sink, wall scone and accessory locations.

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Doyle Street Development
 14 - 16 Doyle Street, Blaketown, Greymouth

STAGE	REV	DATE
Concept	A	-
Truss & Foundation	B	05/10/2023
Resource Consent	C	08/04/2024
-	-	-
-	-	-
-	-	-
-	-	-

REV	DATE
A	-
B	05/10/2023
C	08/04/2024
-	-
-	-
-	-
-	-

SHEET NAME	
FLOOR PLAN - UNITS 1-2	
CLIENT	Doyle Street Development
SCALE	1:50, 1:100 SCALE DOUBLED AT A3
DATE	08/04/2024
DRAWN	SB
JOB NO.	DW1470
CHECKED	DBS

REVISION
Resource Consent Issue
DRAWING NO.
A201



B



2. FLOOR PLAN - UNITS 3-6
SCALE 1:50

LEGEND - WALLS

- 90mm Timber Framed Wall (external wall)
 - GIB wall lining (refer to finishes plan)
 - 90 x 45mm studs @ 600 CRS, dwangs @ 800 CRS
 - Building wrap
 - 20mm drained cavity
 - RCS Integra wall cladding

- 90mm Timber Framed Wall (external wall)
 - GIB wall lining (refer to finishes plan)
 - 90 x 45mm studs @ 600 CRS, dwangs @ 480 CRS
 - Building wrap
 - 20mm drained cavity
 - James Hardie Linea Oblique wall cladding

- 90mm Timber Framed Wall (internal wall)
 - GIB wall lining both sides (refer to finishes plan)
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS

- RCS INTA120a (intertennancy wall)
 - GIB wall lining (refer to finishes plan)
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
 - 20mm cavity
 - 50mm INTA120a panel
 - 20mm cavity
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
 - GIB wall lining (refer to finishes plan)

WALL NOTES:

- Top Plate Fixing:** Top plate to be fixed to studs @ 600 max CRS with 2-9d x 3.15 end nails + 2 wire dogs or 4.7kN alternative fixing unless noted otherwise
- Bottom Plate Fixing to Slab:** Proprietary anchor's @ 900 max CRS with 5dX5dX3 flat washer unless noted otherwise
- Bottom Plate Fixing to Timber:** Refer to "NZS3604:2011 Table 8.19 - Nailing Schedule for hand-driven and power-driven nails"

GENERAL NOTES:

- All entries and exits to be in accordance with NZBC D1/AS1.
- Anti-slip on all access routes (both external and internal) provide anti-slip surfaces complying with nzbc d1/as1/table 2.
- Floor finishes for wet area rooms to be slip resistant in accordance with NZBC D1/AS1 Table 2 and also to be in accordance with NZBC E3 - Internal Moisture.
- Kitchen bench top to comply with NZBC G3/AS1.
- Mechanical ventilation for removing moisture shall be vented outside (includes wet areas, clothes dryer & cooking hood. refer nzbc g4/as1 1.3.c.ii.) mechanical ventilation to be 150mm dia 230 cu m/h inline fan ducted to soffit.
- Smoke alarms - Cavius Smoke Alarm, be installed to NZBC F1/AS1 with hush facility (3.0m radius)
- All exposed fixings to be stainless steel
- Contractor to install all new plumbing fixtures and appliances to manufacturers specifications.
- Contractor to furnish and install all hardware unless noted otherwise.
- Contractor to provide all blocking as required for proper installation of item. In wall 20mm plywood blocking at all sink, wall sconce and accessory locations.



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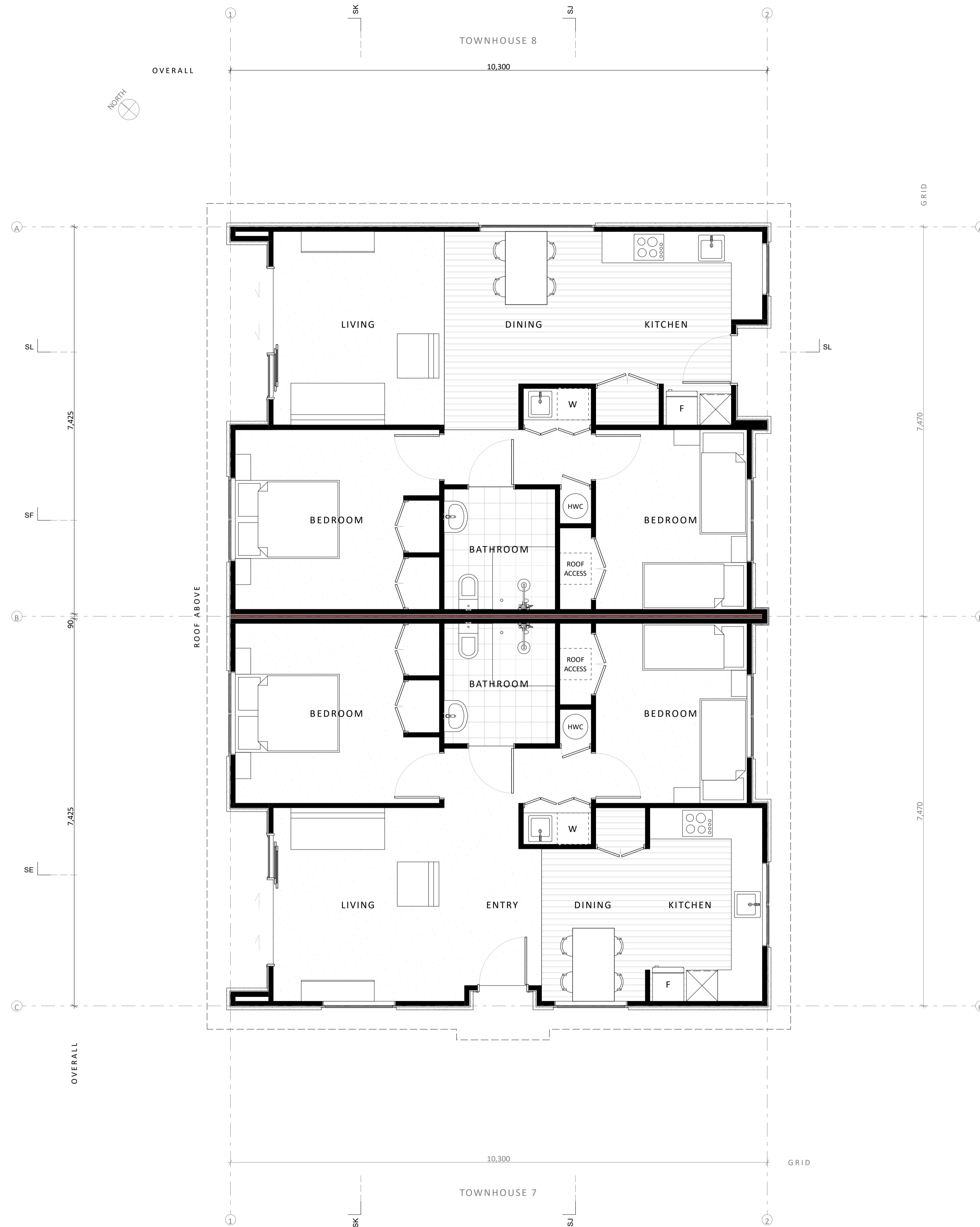
Doyle Street Development
14 - 16 Doyle Street, Blaketown, Greymouth

STAGE	REV	DATE
Concept	A	-
Truss & Foundation	B	05/10/2023
Resource Consent	C	08/04/2024
-	-	-
-	-	-
-	-	-
-	-	-

SHEET NAME		
FLOOR PLAN - UNITS 3-6		
CLIENT	Doyle Street Development	SCALE 1:50, 1:100 SCALE DOUBLED AT A3
DATE	8/04/2024	DRAWN SB
JOB NO.	DW1470	CHECKED DBS

REVISION	
Resource Consent Issue	
DRAWING NO.	
A301	

B



2. FLOOR PLAN - UNITS 7-8
SCALE 1:50

LEGEND - WALLS

- 90mm Timber Framed Wall (external wall)

 - GIB wall lining (refer to finishes plan)
 - 90 x 45mm studs @ 600 CRS, dwangs @ 800 CRS
 - Building wrap
 - 20mm drained cavity
 - RCS Integra wall cladding

- 90mm Timber Framed Wall (external wall)

 - GIB wall lining (refer to finishes plan)
 - 90 x 45mm studs @ 600 CRS, dwangs @ 480 CRS
 - Building wrap
 - 20mm drained cavity
 - James Hardie Linea Oblique wall cladding

- 90mm Timber Framed Wall (internal wall)

 - GIB wall lining both sides (refer to finishes plan)
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS

- RCS INTA120a (intertennancy wall)

 - GIB wall lining (refer to finishes plan)
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
 - 20mm cavity
 - 50mm INTA120a panel
 - 20mm cavity
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
 - GIB wall lining (refer to finishes plan)

WALL NOTES:

Top Plate Fixing: Top plate to be fixed to studs @ 600 max CRS with 2-90 x 3.15 end nails + 2 wire dogs or 4.7kN alternative fixing unless noted otherwise

Bottom Plate Fixing to Slab: Proprietary anchor's @ 900 max CRS with 50x50x3 flat washer unless noted otherwise

Bottom Plate Fixing to Timber: Refer to "NZS3604:2011 Table 8.19 - Nailing Schedule for hand-driven and power-driven nails"

GENERAL NOTES:

All entries and exits to be in accordance with NZBC D1/AS1.

Anti-slip on all access routes (both external and internal) provide anti-slip surfaces complying with nzbc d1/as1/ table 2.

Floor finishes for wet area rooms to be slip resistant in accordance with NZBC D1/AS1 table 2 and also to be in accordance with NZBC E3 - Internal Moisture.

Kitchen bench top to comply with NZBC G3/AS1.

Mechanical ventilation for removing moisture shall be vented outside (includes wet areas, clothes dryer & cooking hood. refer nzbc g4/as1 1.3 c.ii.) mechanical ventilation to be 150mm dia 230 cu m/h inline fan ducted to soffit.

Smoke alarms - Cavius Smoke Alarm, be installed to NZBC F1/AS1 with hush facility (3.0m radius)

All exposed fixings to be stainless steel

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Contractor to provide all blocking as required for proper installation of item. In wall 20mm plywood blocking at all sink, wall sconce and accessory locations.

B



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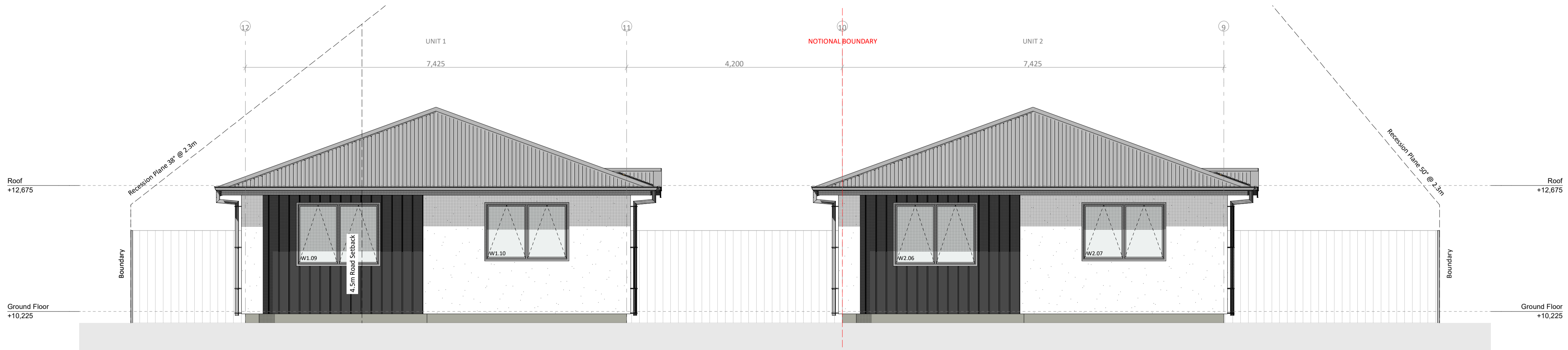
Doyle Street Development
14 - 16 Doyle Street, Blaketown, Greymouth

STAGE	REV	DATE
Concept	A	-
Truss & Foundation	B	05/10/2023
Resource Consent	C	08/04/2024
-	-	-
-	-	-
-	-	-
-	-	-

SHEET NAME		SCALE	
FLOOR PLAN - UNITS 7-8		1:50, 1:100 SCALE DOUBLED AT A3	
CLIENT	Doyle Street Development	DRAWN	SB
DATE	08/04/2024	CHECKED	D8S
JOB NO.	DW1470		

REVISION
Resource Consent Issue

DRAWING NO.
A401



E01 NORTH EAST ELEVATION - UNIT 1-2
SCALE 1:50



E02 SOUTH EAST ELEVATION - UNIT 1
SCALE 1:50



E03 NORTH WEST ELEVATION - UNIT 1
SCALE 1:50

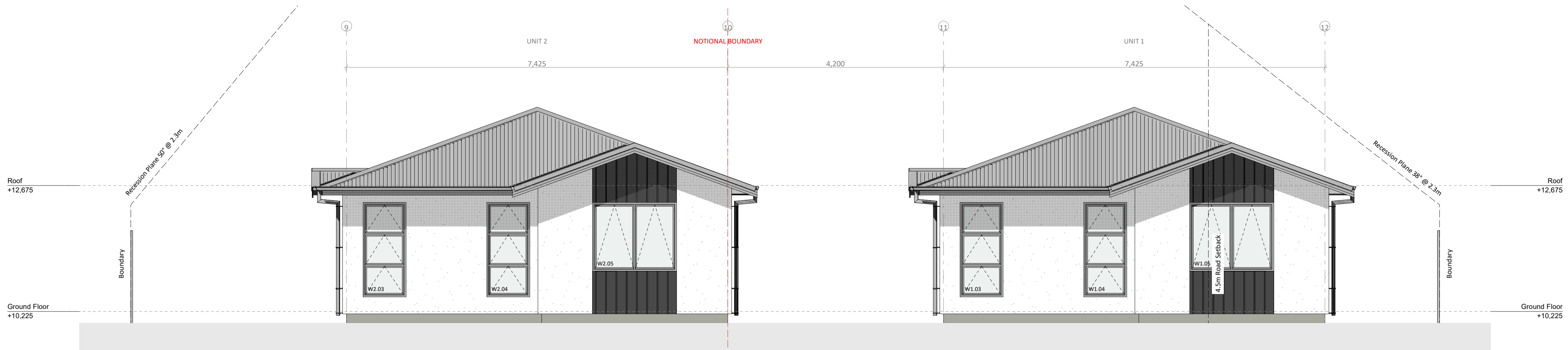
LEGEND

- Roof Cladding: Corrugate
Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermakraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
- Wall Cladding: RCS Integra
Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
- Wall Cladding: James Hardie Linea Oblique
James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
- Permanently Obscured Glass
Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

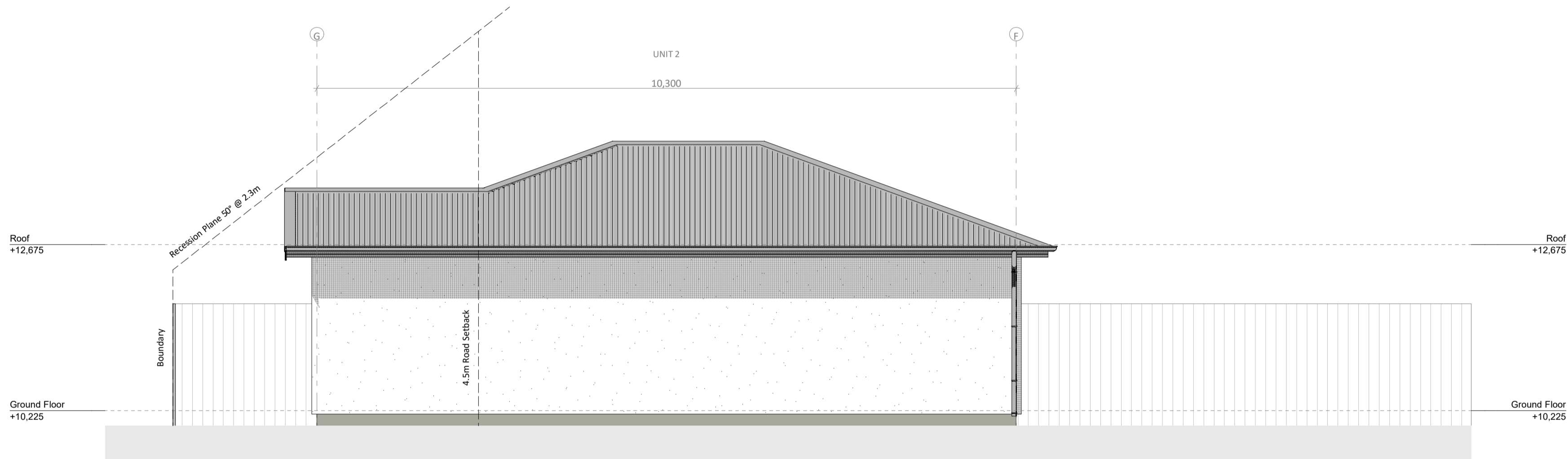
B

STAGE	REV	DATE
Concept	A	-
Truss & Foundation	B	05/10/2023
Resource Consent	C	08/04/2024
-	-	-
-	-	-
-	-	-
-	-	-

SHEET NAME		
ELEVATIONS		
CLIENT	Doyle Street Development	SCALE 1:50, 1:100 SCALE DOUBLED AT A3
DATE	08/04/2024	DRAWN SB
JOB NO.	DW1470	CHECKED DBS



E-04 SOUTH WEST ELEVATION - UNIT 1-2
SCALE 1:50



E-05 SOUTH EAST ELEVATION - UNIT 2
SCALE 1:50



E-06 NORTH WEST ELEVATION - UNIT 2
SCALE 1:50

LEGEND

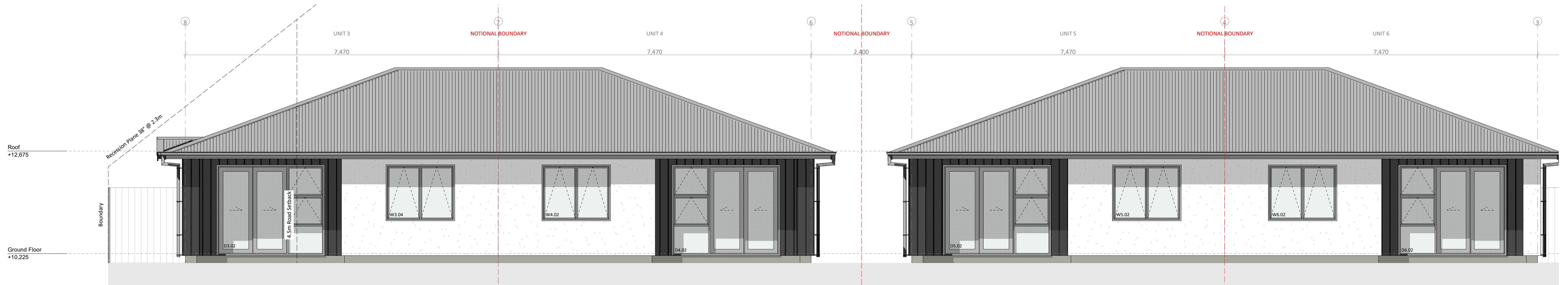
- Roof Cladding: Corrugate
Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermakraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
- Wall Cladding: RCS Integra
Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
- Wall Cladding: James Hardie Linea Oblique
James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
- Permanently Obscured Glass
Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

B

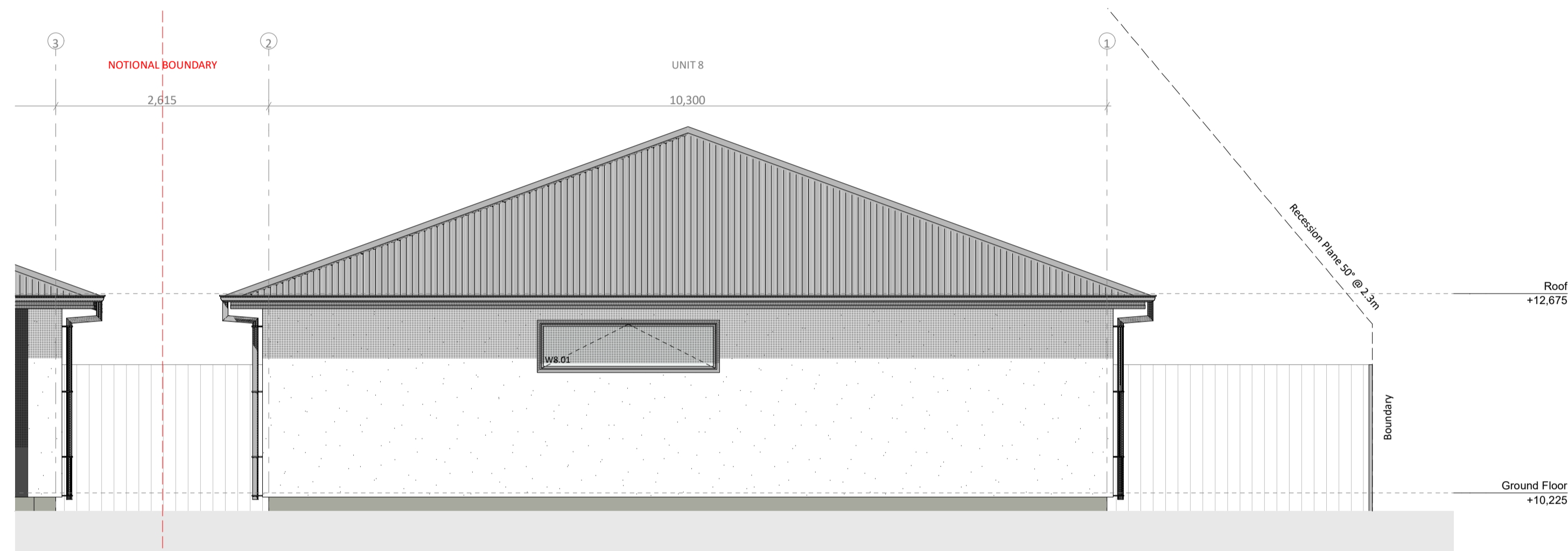
STAGE	REV	DATE
Concept	A	-
Truss & Foundation	B	05/10/2023
Resource Consent	C	08/04/2024
-	-	-
-	-	-
-	-	-
-	-	-

SHEET NAME	
ELEVATIONS	
CLIENT	Doyle Street Development
SCALE	1:50, 1:100 SCALE DOUBLED AT A3
DATE	8/04/2024
DRAWN	SB
JOB NO.	DW1470
CHECKED	DBS

REVISION	
Resource Consent Issue	
DRAWING NO.	
A602	



E07 NORTH EAST ELEVATION - UNIT 3-8
SCALE 1:50



E07 CONTINUED
SCALE 1:50



E08 SOUTH EAST ELEVATION - UNIT 3
SCALE 1:50

LEGEND

- Roof Cladding: Corrugate
Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermkraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
- Wall Cladding: RCS Integra
Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
- Wall Cladding: James Hardie Linea Oblique
James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
- Permanently Obscured Glass
Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

B



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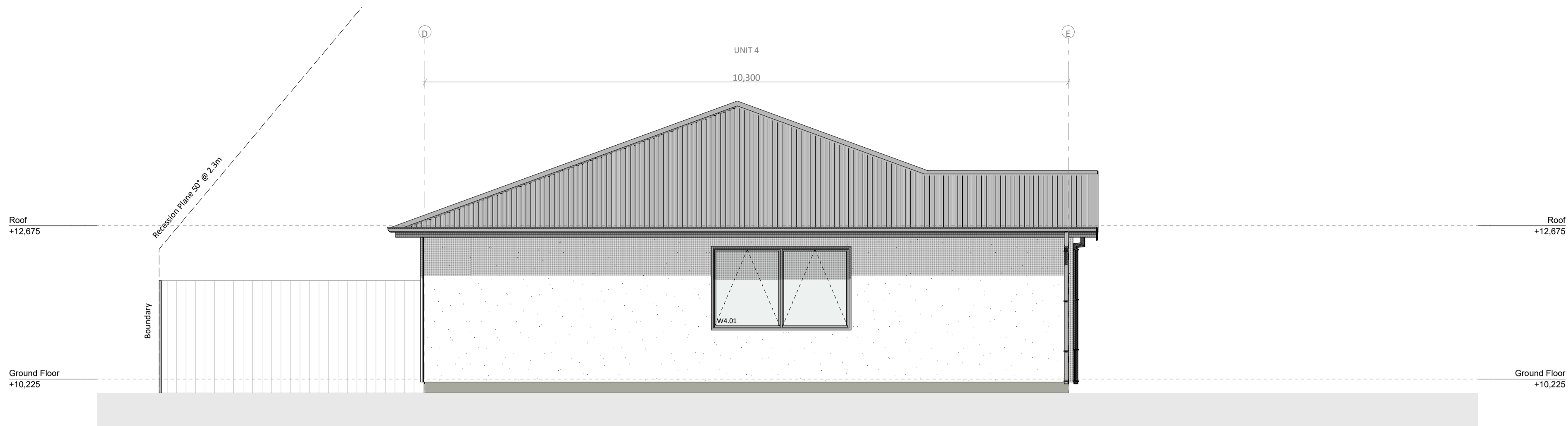
Doyle Street Development
14 - 16 Doyle Street, Blaketown, Greymouth

STAGE	REV	DATE
Concept	A	-
Truss & Foundation	B	05/10/2023
Resource Consent	C	08/04/2024
-	-	-
-	-	-
-	-	-

SHEET NAME		
ELEVATIONS		
CLIENT	Doyle Street Development	SCALE 1:50, 1:100 SCALE DOUBLED AT A3
DATE	8/04/2024	DRAWN SB
JOB NO.	DW1470	CHECKED DBS

REVISION
Resource Consent Issue

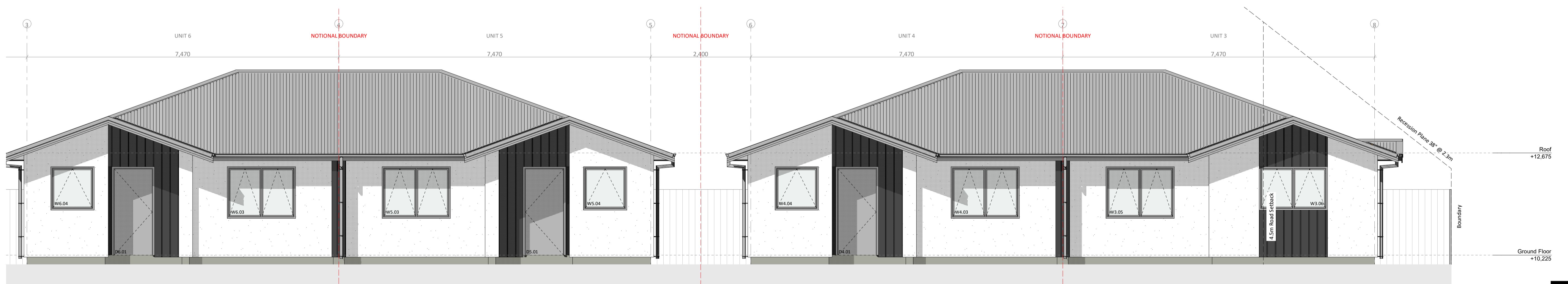
DRAWING NO.
A603



E09 NORTH WEST ELEVATION - UNIT 4
SCALE 1:50



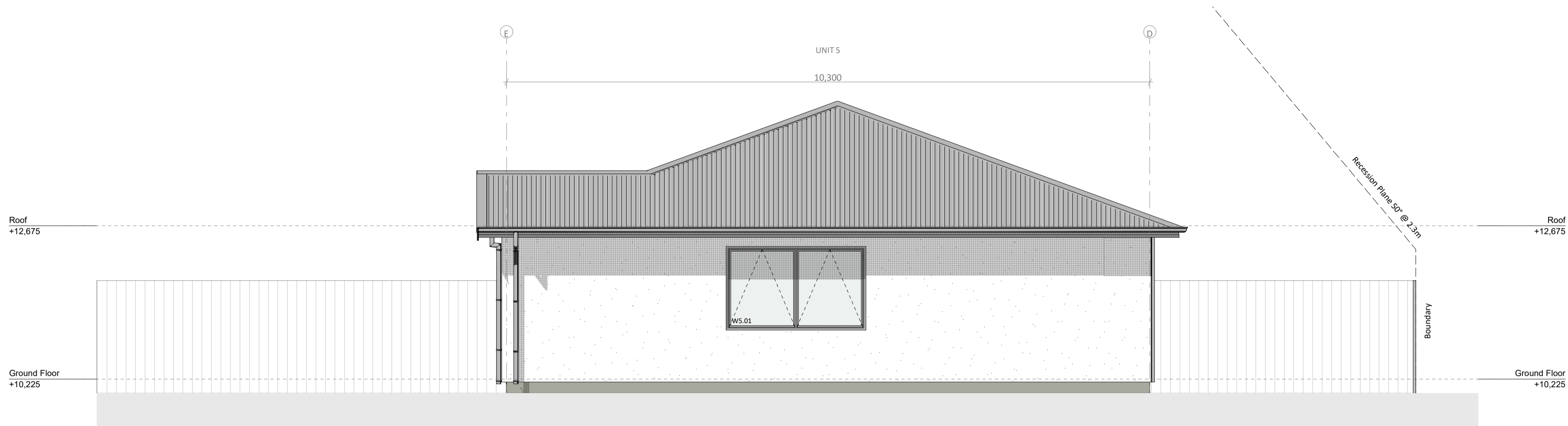
E10 SOUTH WEST ELEVATION - UNIT 3-7
SCALE 1:50



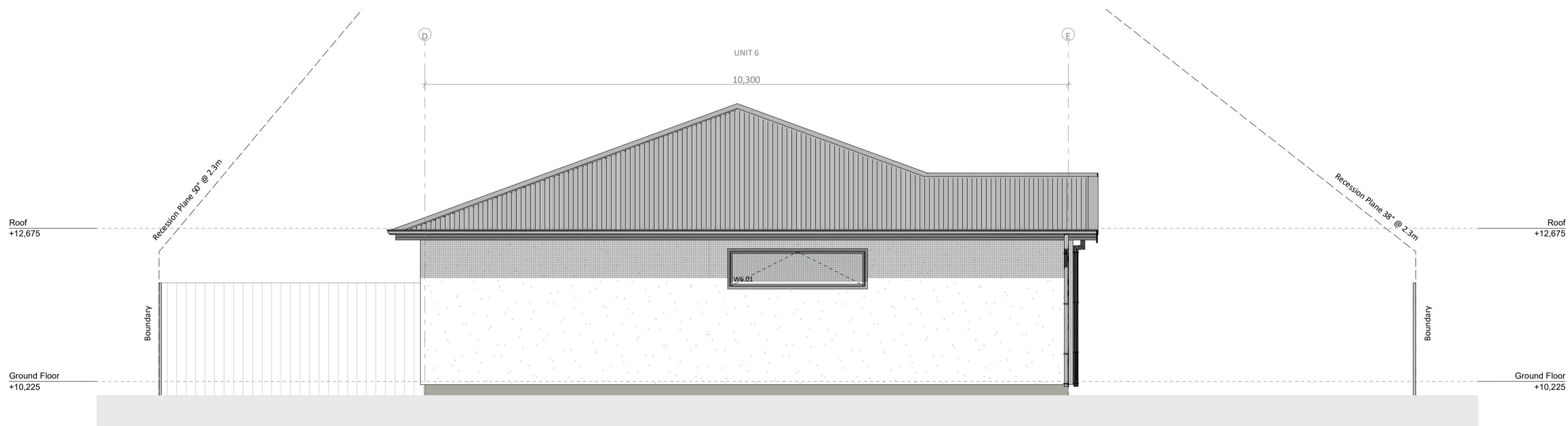
E10 CONTINUED
SCALE 1:50

LEGEND

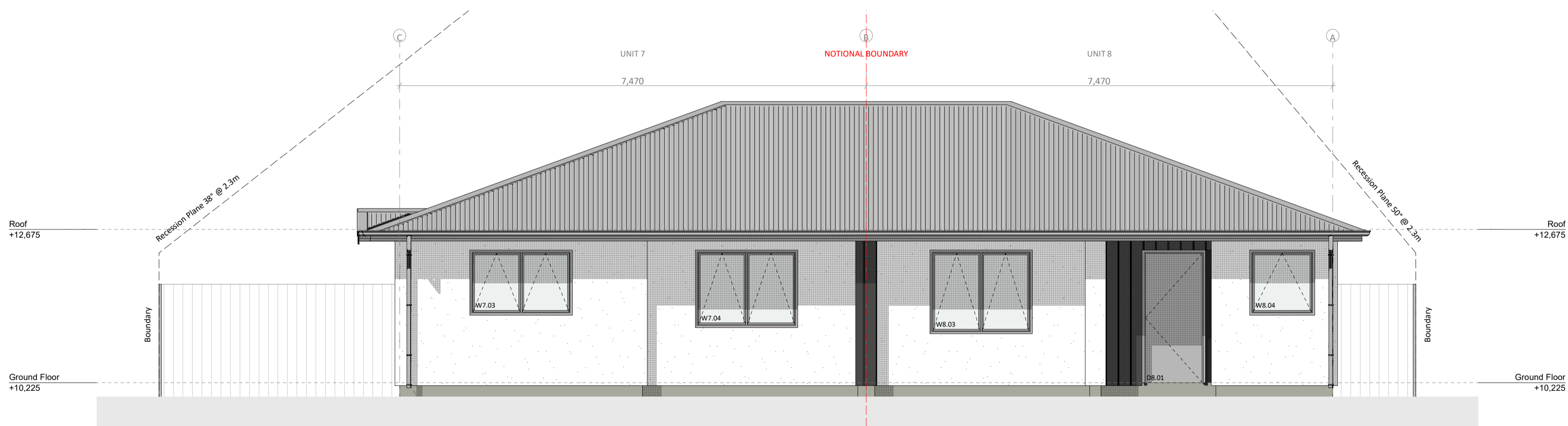
- Roof Cladding: Corrugate
 Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermakraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
- Wall Cladding: RCS Integra
 Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
- Wall Cladding: James Hardie Linea Oblique
 James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
- Permanently Obscured Glass
 Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1



E11 SOUTH EAST ELEVATION - UNIT 5
SCALE 1:50







E12 NORTH WEST ELEVATION - UNIT 6
SCALE 1:50

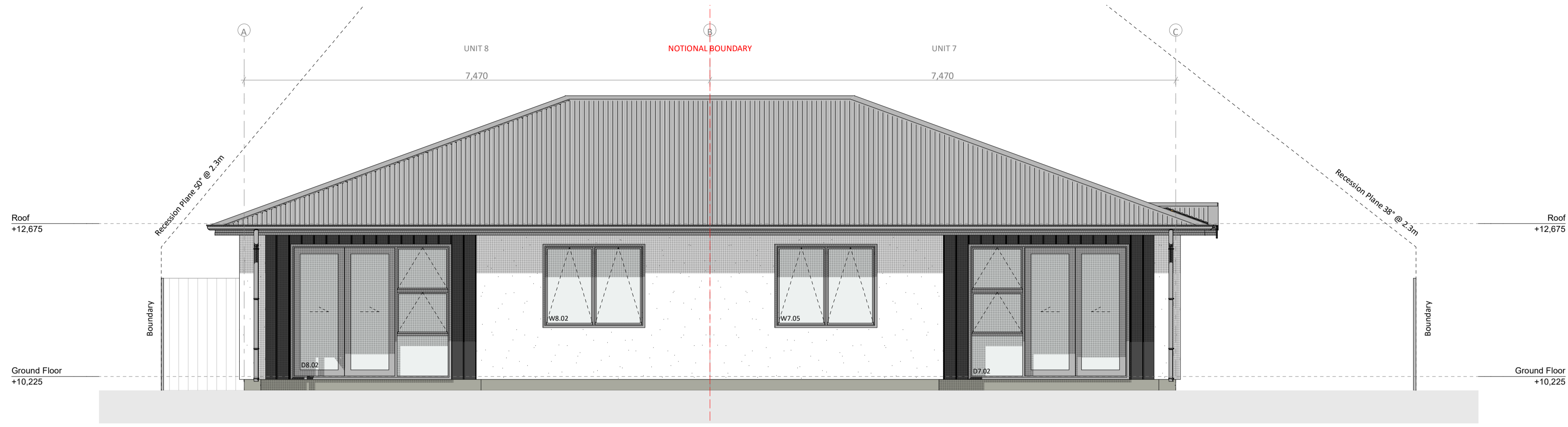


E13 SOUTH EAST ELEVATION - UNIT 7-8
SCALE 1:50

LEGEND

-  Roof Cladding: Corrugate
Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermkraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
-  Wall Cladding: RCS Integra
Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
-  Wall Cladding: James Hardie Linea Oblique
James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
-  Permanently Obscured Glass
Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

B



E14 NORTH WEST ELEVATION - UNIT 7-8
SCALE 1:50

LEGEND

- Roof Cladding: Corrugate**
Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermkraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
 - Wall Cladding: RCS Integra**
Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
 - Wall Cladding: James Hardie Linea Oblique**
James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
 - Permanently Obscured Glass**
Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

B



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Doyle Street Development
14 - 16 Doyle Street, Blaketown, Greymouth

STAGE	REV	DATE
Concept	A	-
Truss & Foundation	B	05/10/2023
Resource Consent	C	08/04/2024
-	-	-
-	-	-
-	-	-
-	-	-

SHEET NAME			
ELEVATIONS			
CLIENT	Doyle Street Development	SCALE	1:50, 1:100 SCALE DOUBLED AT A3
DATE	8/04/2024	DRAWN	SB
JOB NO.	DW1470	CHECKED	DBS

REVISION	
Resource Consent Issue	
DRAWING NO.	
A606	



1. LANDSCAPING PLAN
SCALE 1:100

- LANDSCAPING LEGEND**
- Main Hardstand
 - Asphalt
 - 1:100 min. falls as shown
 - Slip resistance to comply with NZBC D1/AS1
 - Secondary Hardstand
 - Concrete
 - 1:100 min. falls as shown
 - Slip resistance to comply with NZBC D1/AS1
 - Deck/Patio
 - Service Area
 - Lime chip finish
 - Artificial Grass
 - Garden Beds
 - GB1 - Shrub Mix - an assortment of the following:
 - Makaka/NZ Broom (Carmichaelia Australis)
 - Mikimiki (Coprosma Propinqua)
 - Niniaio (Helichrysum Lanceolatum)
 - Shrub Pohuehue (Muehlenbeckia Astonii)
 - Tauhinu/Cottonwood (Ozothamnus leptophyllus)
 - GB2 - Ground Cover - an assortment of the following:
 - Piripiri/Biddibid (Acaena Novae-Zelandiae)
 - Nihinihi/Sand Convolvulus (Calystegia Soldanella)
 - Rauhuia (Linum Monogynum)
 - Mat Pohuehue (Muehlenbeckia Axillaris)
 - Sand Daphne (Pimelea Villosa)
 - Washing Line
 - foldable washing line on fence
- FENCING LEGEND**
- Timber Fence
 - 1800mm High (provide separation between units)
 - 150x19 Rough sawn paings overlapped capping
 - Unpainted
 - Boundary Fence 2.0m max (enclose outdoor area)
 - Metal Gate
 - 1200mm High
 - Permeable metal gate
- PLANT LEGEND**
- T1 - Manuka, Tea Tree (Leptospermum Scoparium)
 - T2 - Kowhai Tree (Sophora Microphylla)
 - T3 - Akiraho, Golden Akeake (Olearia Paniculata)
 - T4 - Japanese Maple (Acer Palmatum)
 - T5 - Cherry Tree (Prunus Accolade)



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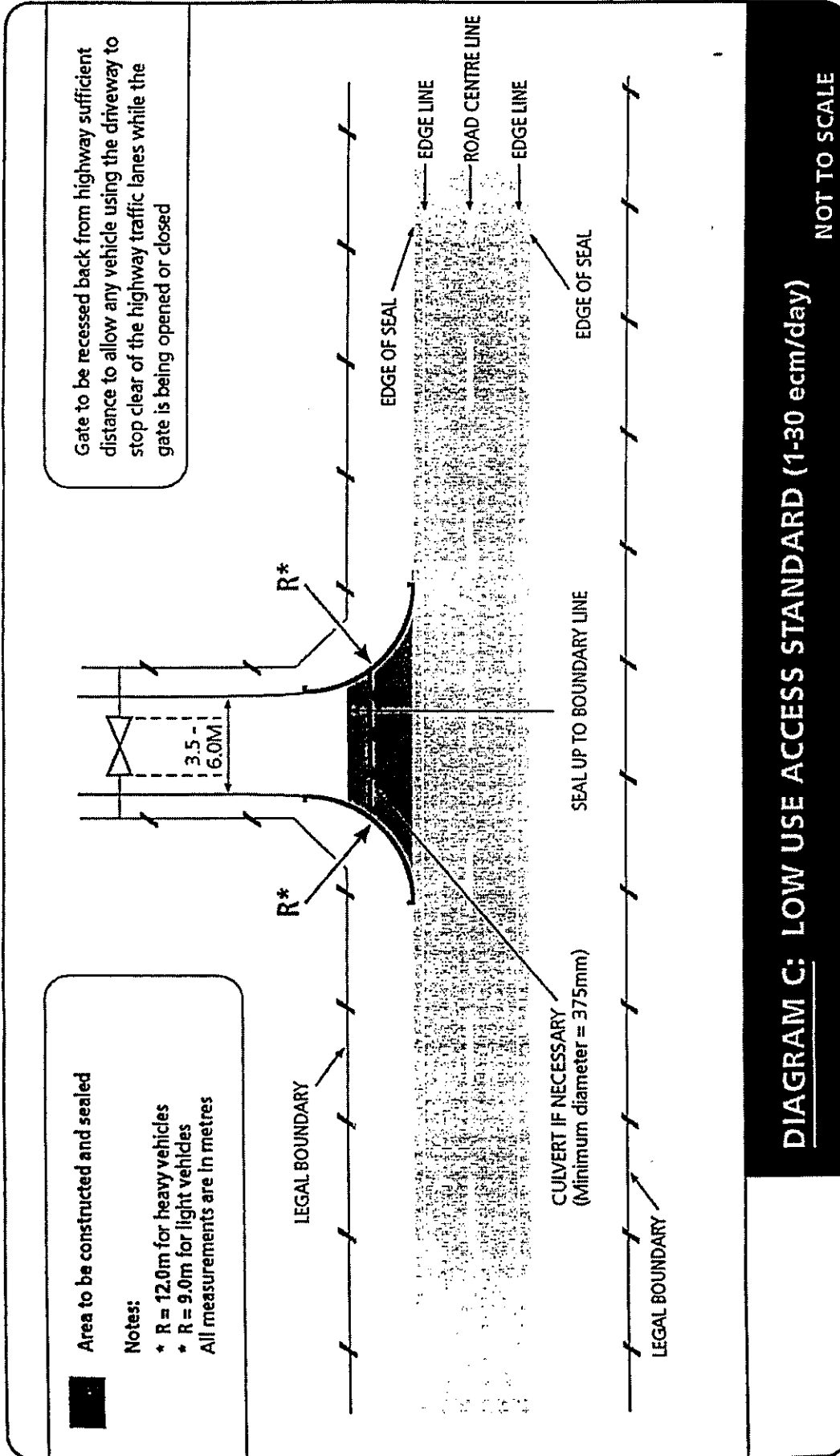
Doyle Street Development
14 - 16 Doyle Street, Blaketown, Greymouth

STAGE	REV	DATE
Concept	A	-
Truss & Foundation	B	05/10/2023
Resource Consent	C	08/04/2024
Resource Consent RFIs	D	09/05/2024
-	-	-
-	-	-
-	-	-

SHEET NAME		
SITE LANDSCAPING PLAN		
CLIENT	Doyle Street Development	SCALE 1:100 SCALE DOUBLED AT A3
DATE	9/05/2024	DRAWN SB
JOB NO.	DW1470	CHECKED DBS

REVISION	
Resource Consent RFIs	
DRAWING NO.	
A105	

C



Note:

1. For Unsealed rural roads, sealing the driveway is not required.
2. The area to be sealed may be reduced to 3m with approval of network Managers.