

Parcel ID: 7130781 & 7130782
 Appellation: Lot 15 DP 404171
 Location: Kaiata

Climate Zone: 4
 Earthquake Zone: Zone 3
 Exposure Zone: Zone D
 Lee Zone: No
 Rainfall Range: 70 - 80
 Wind Region: A
 Wind Zone: High

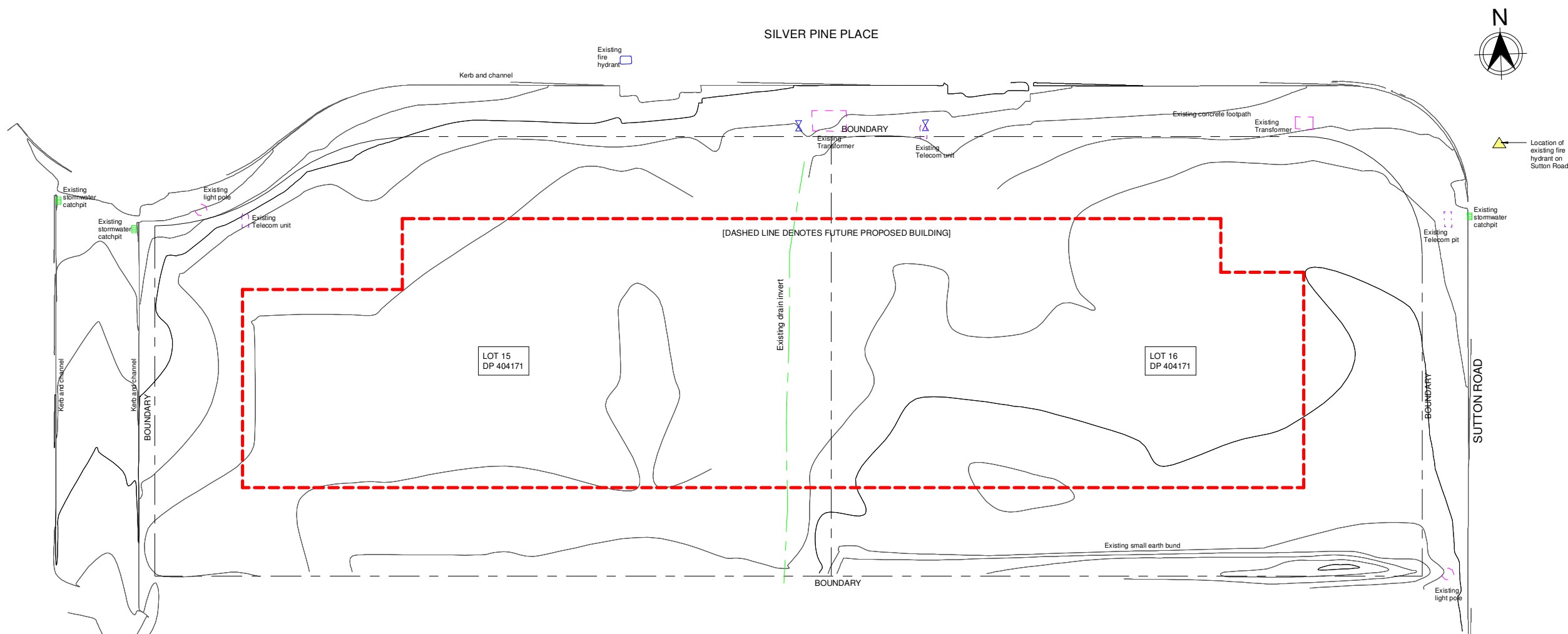


STOREWELL SELF STORAGE

PROPOSED STORAGE FACILITY
 Project No: 24 006
 PRELIMINARY / 09/09/2024

PRELIMINARY
 NOT FOR CONSTRUCTION

NOTES



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Client
STOREWELL SELF STORAGE
 Project
PROPOSED STORAGE FACILITY
 21 & 23 SILVER PINE PLACE,
 GREYMOUTH 7805

Sheet Name
EXISTING SITE PLAN

SCALE @ A1 = 1 : 200
 North
 DESIGN Designer
 DRAWN Author
 VERIFIED Checker
 APPROVED Approver

Project No. 24 006
 Issue Date 24/07/2024
 Revision 1
 Sheet No. A_090

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SITE NOTE :

- F5: Construction and Demolition Hazards**
 Contractor to ensure barriers comply with NZBC F5/AS1:
- a) barriers are of appropriate height and construction;
 - b) barriers are difficult to climb;
 - c) barriers have no openings other than those approved for access and viewing;
 - (d) that gates or doors do not project beyond the site when opened;
 - (e) that there are no projections that are a hazard to traffic or people;
 - (f) that barriers are clearly marked so that they do not present a hazard to traffic or passersby.

CONTROL MANAGEMENT PLAN :

- 1) Use of Construction methods onsite. [F5.3.1]
 - The site will be fully fenced in accordance with F5/AS1 1.1.2 in this instance the proposed method of barrier is link mesh fence
 - Hazard signage and identification boards are updated daily advising of daily operations, hoarded/safe zones, hard hat requirements etc.
 - Scaffolding, edge and Toe board protection if and where required as required
 - Barriers conforming with F5/AS1 for any works that require temporary protection such as lifting/cranage safe zones, drainage trenches etc.
- 2) Barriers to prevent General public or Restrict unauthorized access. [F5.3.2 / 3.3]
 - The site will be fully fenced in accordance with F5/AS1 1.1.2 in this instance the proposed method of barrier is link mesh fence
- 4) Falling Hazards. [F5.3.4]
 - The site will be fully fenced in accordance with F5/AS1 1.1.2 in this instance the proposed method of barrier is link mesh fence
 - No public or contractor access to site will be granted without being inducted and familiarizing themselves to site
 - Hazard signage and identification boards are updated daily advising of daily operations, hoarded/safe zones, hard hat requirements etc.
 - Scaffolding, edge and Toe board protection if and where required as required
 - Barriers conforming with F5/AS1 for any works that require temporary protection such as lifting/cranage safe zones, drainage trenches etc.

GENERAL NOTE :

Refer to civil plumbing & drainage design for final stormwater and sewer locations and design - building and driveway.

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Sheet Name
PROPOSED SITE PLAN

21 & 23 SILVER PINE PLACE, GREYMOUTH

Legal Description:
 LOT 15 & 16 DP 404171

Climate Zone: 4
 Earthquake Zone: Zone 3
 Exposure Zone: Zone D
 Lee Zone: No
 Rainfall Range: 70 - 80
 Wind Region: A
 Wind Zone: High

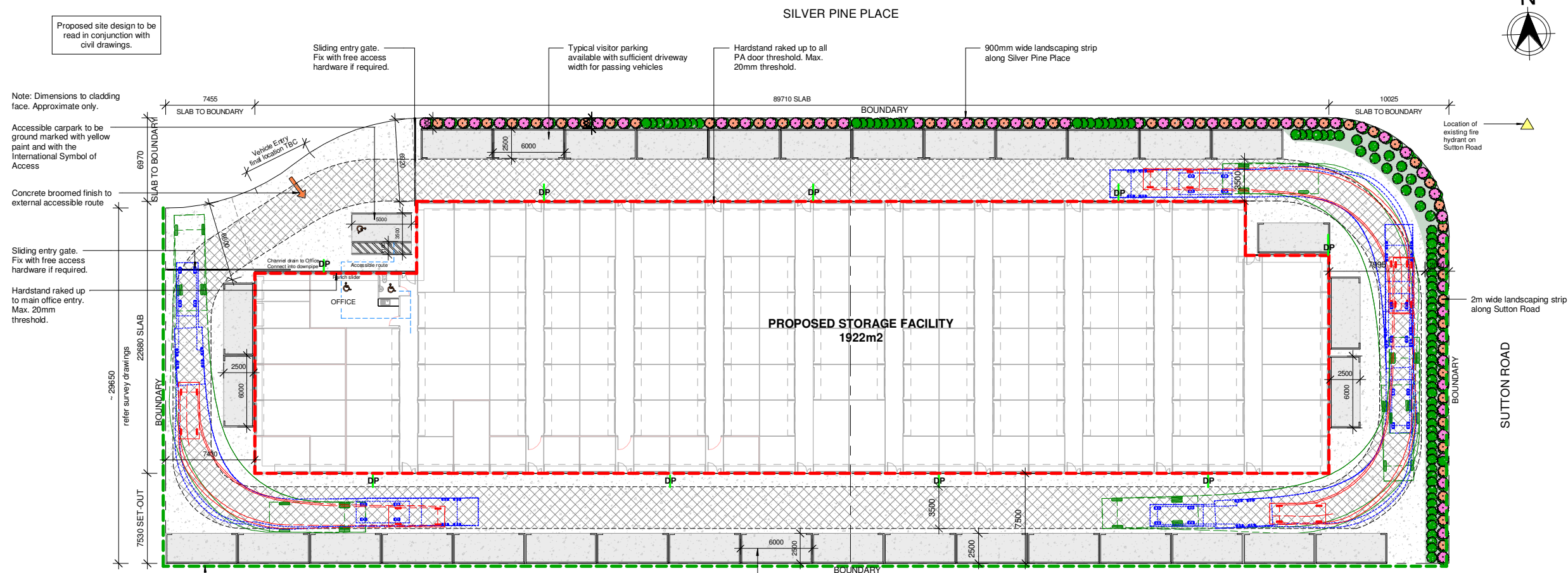
SITE AREA: 3880m2
 21 SILVER PINE PL: 1836m2
 23 SILVER PINE PL: 2044m2

SCALE @ A1= As indicated

North	DESIGN	Designer
	DRAWN	Author
	VERIFIED	Checker
	APPROVED	Approver

Project No.	Issue Date
24 006	24/07/2024
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1 **A_091**
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Proposed site design to be read in conjunction with civil drawings.

Note: Dimensions to cladding face. Approximate only.

Accessible carpark to be ground marked with yellow paint and with the International Symbol of Access

Concrete broomed finish to external accessible route

Sliding entry gate. Fix with free access hardware if required.

Hardstand raked up to main office entry. Max. 20mm threshold.

Sliding entry gate. Fix with free access hardware if required.

Typical visitor parking available with sufficient driveway width for passing vehicles

Hardstand raked up to all PA door threshold. Max. 20mm threshold.

900mm wide landscaping strip along Silver Pine Place

EXTERIOR LIGHTING:
 All exterior lighting to pedestrian routes and external car parking areas must be designed and installed to ensure compliance with AS/NZS 1158.3.1:2020 and AS/NZS 4282:2019.

Green dash line denotes silt fence to boundary where applicable to protect neighbouring sites. All sediment to be contained on site. Establish a silt fence 600mm high fixed with stakes at 2m centres. Containment fence to extend 200mm down.

Vehicle Tracking Legend

- 90 Percentile Car
- Double Cab & Trailer
- Medium Rigid Truck (8m)

Typical visitor parking available with sufficient driveway width for passing vehicles

LIGHTING ASSESSMENT UNDER RULE 20.5 (6) under Industrial Zone:

- All exterior lighting is directed away from adjacent properties and roads.
- This site is not located in, or adjacent, to a Commercial Environmental Area or Residential Environmental Area.

Indicative Planting Palette

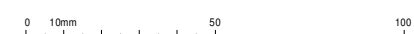


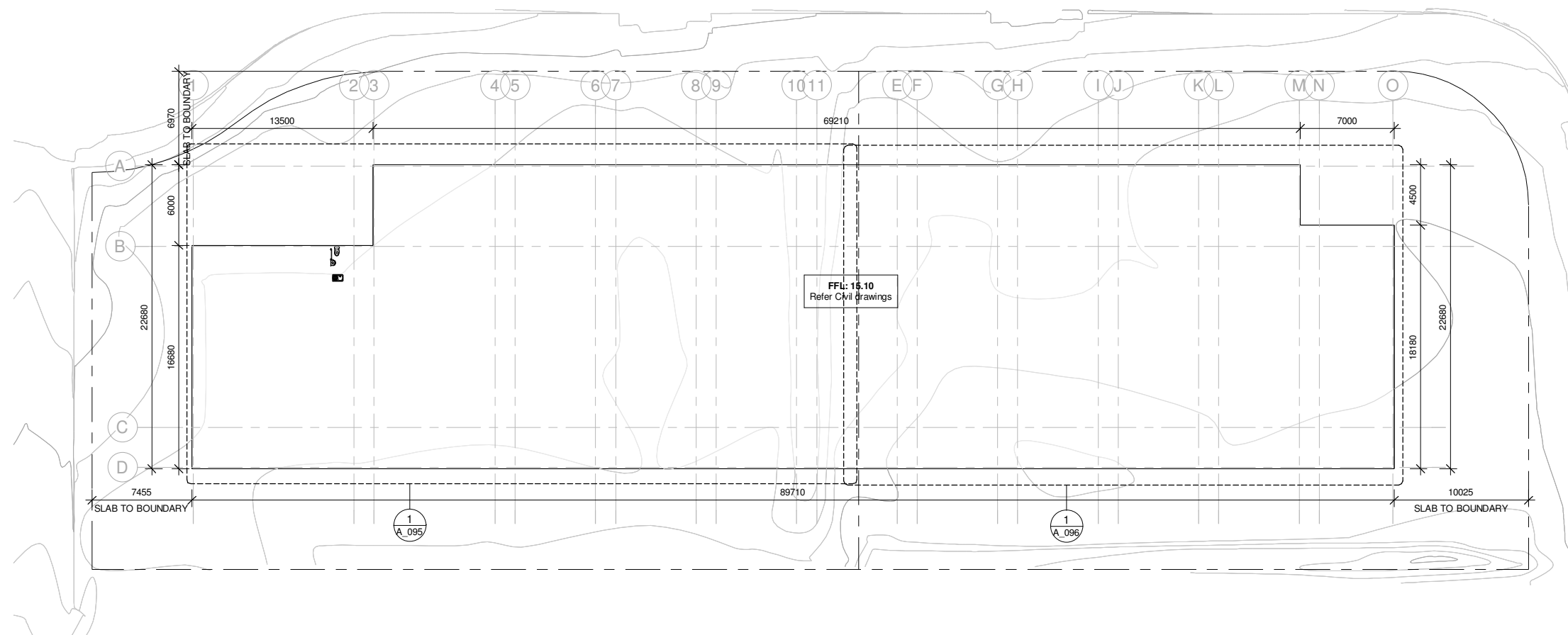
LANDSCAPING :

Shrubs & Groundcover:

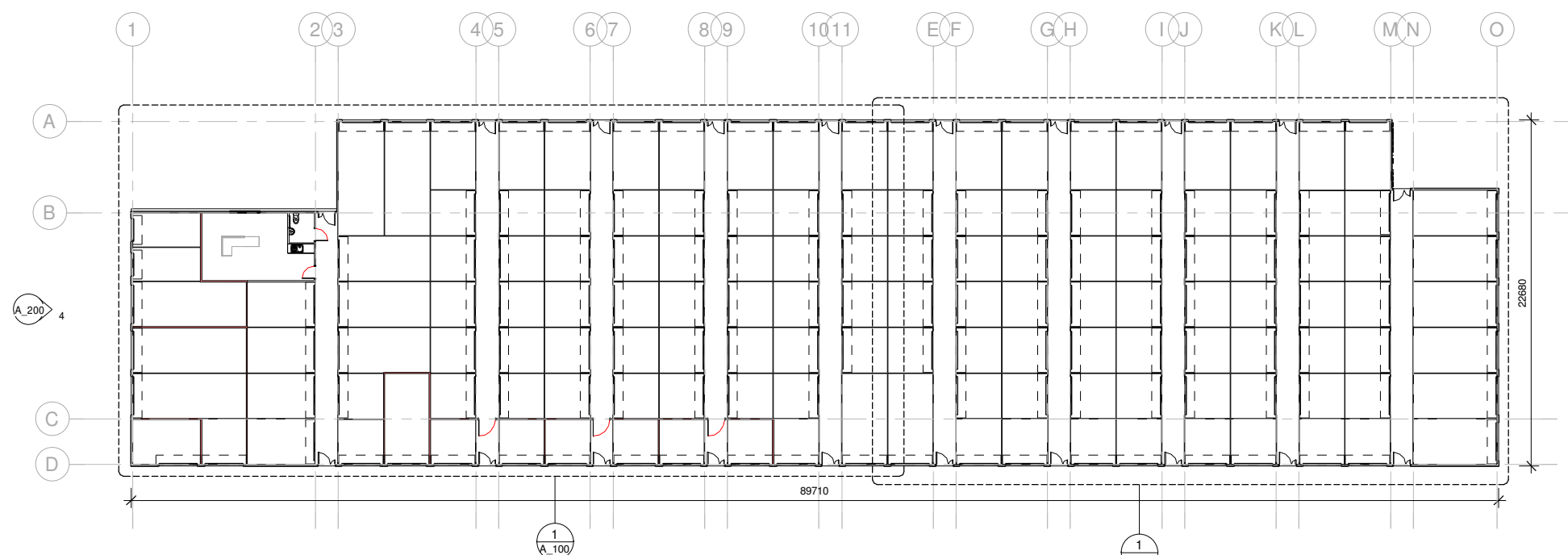
- Feature low planting / shrubs
- Feature low planting / shrubs
- Hedge / Screening
 Griselinia / Pittosporum / Coprosma
 500mm spacing between plants, clipped when at 1m in height (on boundaries)

Shrubs & ground cover selected from plant palette or similar for screening and visual interest. Planting to be P65 min. grade at planting and spaced at 500mm. Indicative locations shown.





1 REFERENCE FOUNDATION PLAN
 A_200 1 : 200



2 REFERENCE FLOOR PLAN
 A_200 1 : 200

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 GREYMOUTH 7805

Sheet Name
**OVERALL REFERENCE
 PLAN**

SCALE @ A1 = 1 : 200

North	DESIGN	Designer
	DRAWN	Author
	VERIFIED	Checker
	APPROVED	Approver

Project No. Issue Date

24 006

Revision Sheet No.

A_093

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CONSTRUCTION GENERAL NOTES:

- The architectural drawings shall be read in conjunction with the associated specifications and conditions of contract. The drawings shall also be read in conjunction with the Structural, Services, civil and other project documents. Any discrepancies in the architectural drawings or between consultant documents shall be referred to the Architect for resolution.
- Verify all dimensions with structural, services etc. prior to construction commencing. Refer all discrepancies to the Architect for resolution.
- Substitution for or amendment of specified details/materials shall not be carried out without prior approval from the Architect.
- All work shall comply with the NZBC, all relevant local Authority bylaws, NZS 3604, Structural Engineers Calculators and all relevant standards. All proprietary products to be installed to manufacturers specifications and details.
- All work to be carried out in accordance with drawings and specifications provided.
- All work to be undertaken to be best trade practice for each respective trade. Any substandard work or building material defects shall be the Contractors responsibility to remove, repair or replace at no extra cost to the contract.
- The contractor shall ensure that all rubbish is removed from site during and at the end of the contract works.

DO NOT SCALE
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK
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WALL FRAMING LEGEND:

- External cladding to be Metalcraft T Rb vertical metal profile cladding system direct fixed on 60mm top hat girls on structural steel framing. Refer Structural drawings for framing.
- H1.2 SGB 90x45 timber stud internal wall framing (TBC)
- Studs at 600c/s max, nogs at 800c/s
- Timber framing, fastenings and fixings including proprietary brackets & bolts where not otherwise specified are to comply with tables, schedules or descriptions in NZS 3604:2011.
- Min. R2.2 Pink Batts wall insulation to wall cavity to Office.
- Refer Fire Design plan for external and internal fire linings.
- 78mm KOROK panels to be installed as per manufacturers specifications.
- Internal partition panel wall system. - 2.7m high panels.

CHECK ALL DIMENSIONS ON SITE, ANY DISCREPANCIES TO BE VERIFIED BY ENGINEER.

CLADDING FIXING NOTES:

All cladding fixings are to comply with manufacturers specifications for High Wind Zone.
 Refer Fire Design Plan for FRR walls.

INSULATION:

Floor: Concrete slab R1
 Walls: R2.2
 Ceiling: R3.2

FLOOR FINISH:

Internal floor shall be Enduraseal with silica sand grit added for non slip, in accordance with D1/AS1: Table 2

ELECTRICAL:

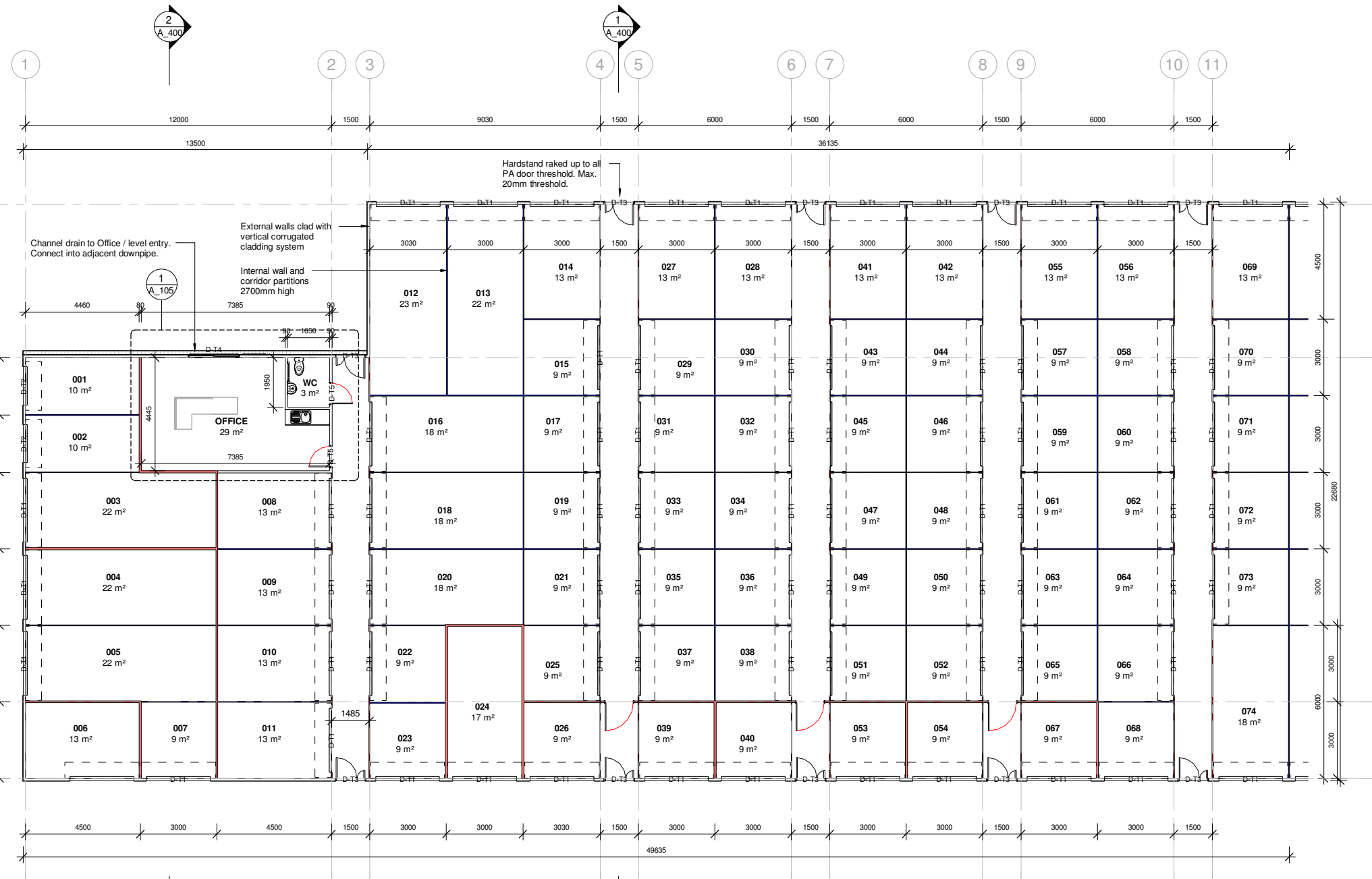
- All new electrical switches, socket outlets and electronic access controls to be in accordance with NZS 4121:2001 4.11.4 & 4.11.5 as follows:
- All new power sockets and light switches shall be horizontally aligned with door handles at 900-1200mm above FFL.
- All new socket outlets shall be fixed between 50-1200mm above FFL and at least 500mm from corners and within a 500mm horizontal dimension from the front of any bench or fixed unit.
- All electronic access units shall be installed at 900-1200mm above FFL, no less than 500mm from an internal corner.

ACCESSIBILITY:

- Accessible carpark provided, min 3.5m x 5m.
- Accessible carpark and route to be identified by the symbol of access (ISA).
- Accessible route located to avoid conflict between vehicles and people, with direct access to accessible route.
- Accessible route to access general office, storage units and accessible WC.
- All corridors are 1200mm min.
- All doors widths minimum 760mm clear opening.
- Where doors open towards user, an unobstructed wall space no less than 300mm wide is required at side of door adjacent to door handle.
- Accessible WC provided with ISA signage on door.
- ISA sign shall be fixed 1400-1700mm above FFL to bottom of sign.
- Where reception counters or desks are provided for public use, at least one counter or desk shall be accessible (Clause G5.3.4 NZS 4121:2001).

TIMBER WALL FRAMING NOTES:

- Ground floor bottom plate to be fixed down to concrete with M12 concrete screw anchors @ 400mm c/s or similar in accordance with NZS3604:2011 High Wind Zone.
- Top plate uplift fixings as per NZS3604:2011 table 8.18 - type B - 2/90x3.15 end nails + 2 wire dogs (4.7kn) unless otherwise stated.
- For stability of fire rated framed walls, refer GIB Fire Rated Systems (Nov 2018) handbook for installation and fastenings.



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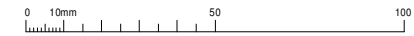
PROPOSED FLOOR PLAN 1/2

SCALE @ A1= 1 : 100

North	DESIGN	Designer
	DRAWN	Author
	VERIFIED	Checker
	APPROVED	Approver

Project No.	Issue Date
24 006	
Revision	Sheet No.

A_100
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- The contractor shall ensure that all rubbish is removed from site during and at the end of the contract works.
- The contractor shall provide the appropriate temporary fencing, hoarding, guardrails and signage as necessary to protect the public and others during the contract works and to meet the requirements of the Local and Territorial Authorities.

DO NOT SCALE

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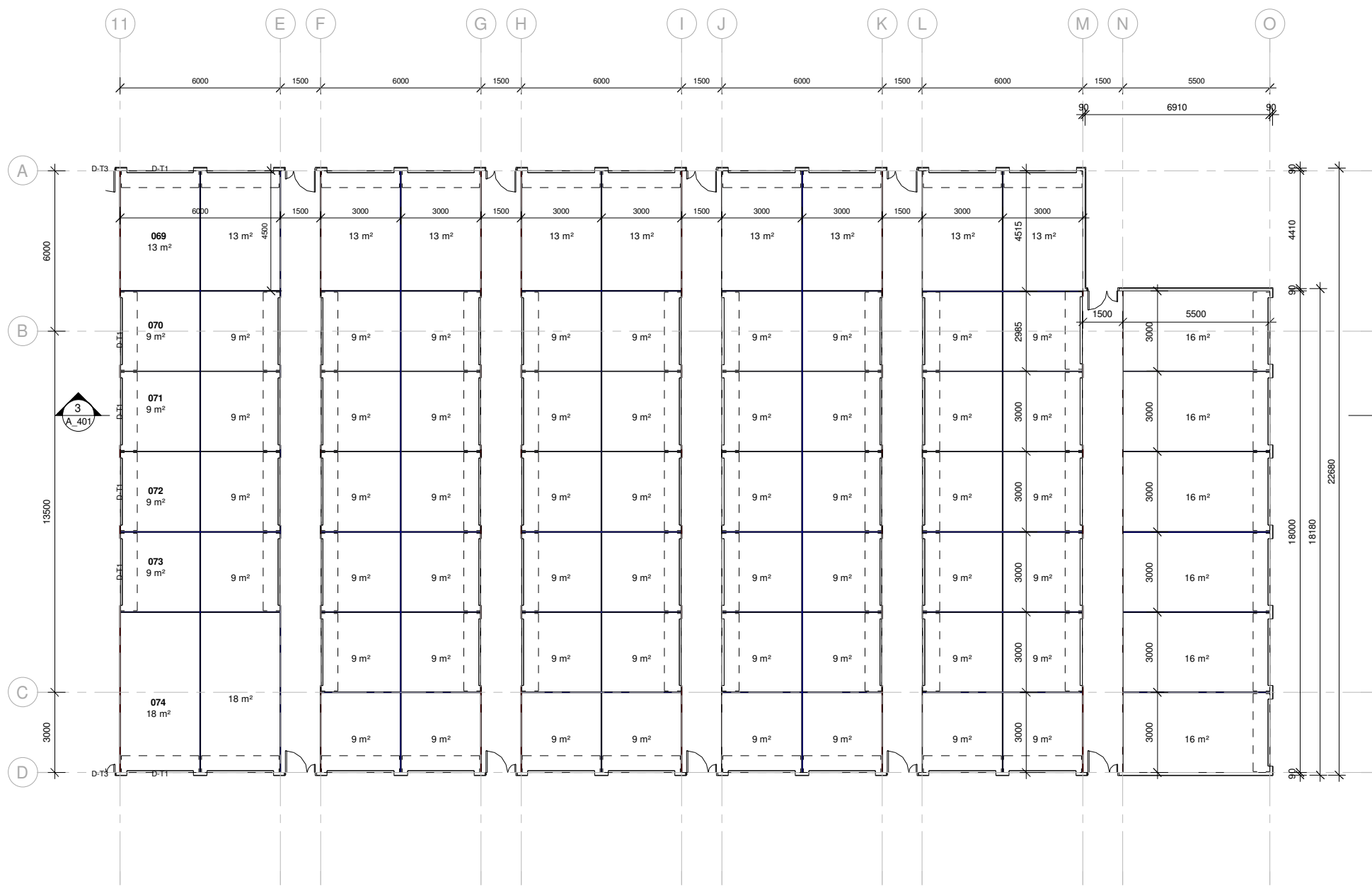
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21 & 23 SILVER PINE PLACE,
GREYMOUTH 7805

Sheet Name
PROPOSED FLOOR PLAN 2/2

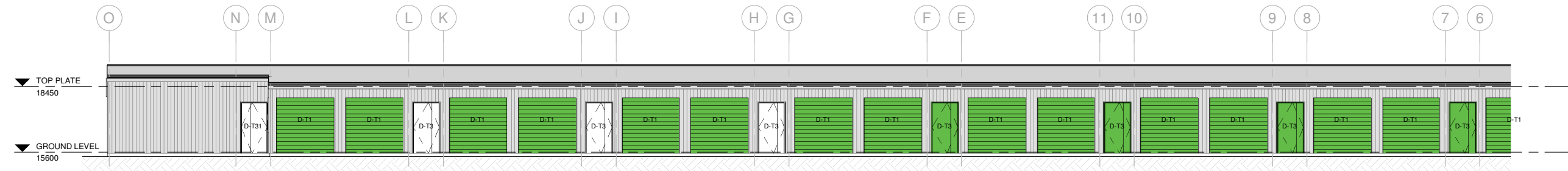
SCALE @ A1 = 1 : 100

North	DESIGN	Designer
	DRAWN	Author
	VERIFIED	Checker
	APPROVED	Approver

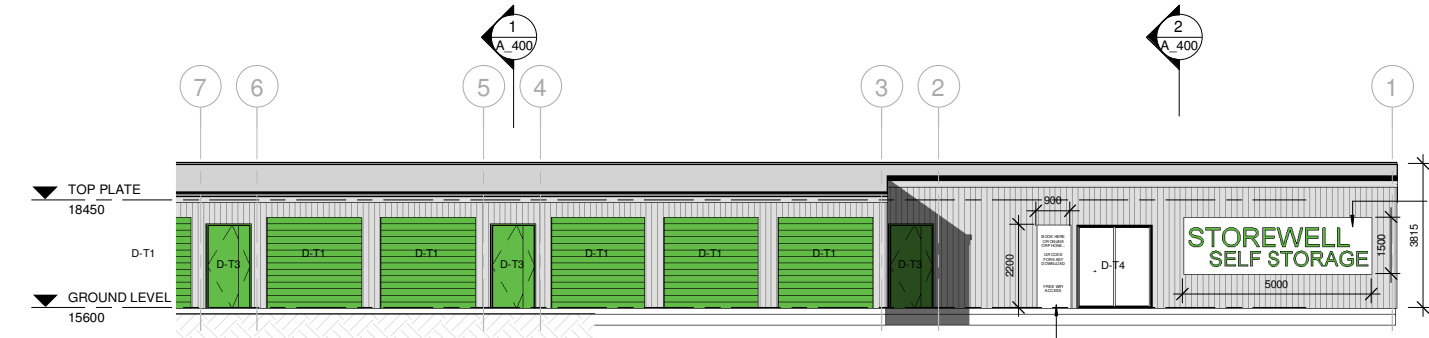
Project No.	Issue Date
24 006	
Revision	Sheet No.

A_101
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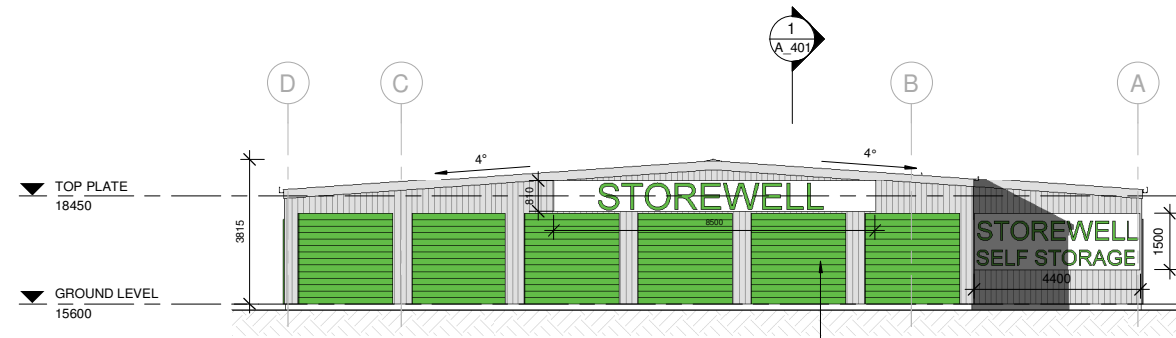




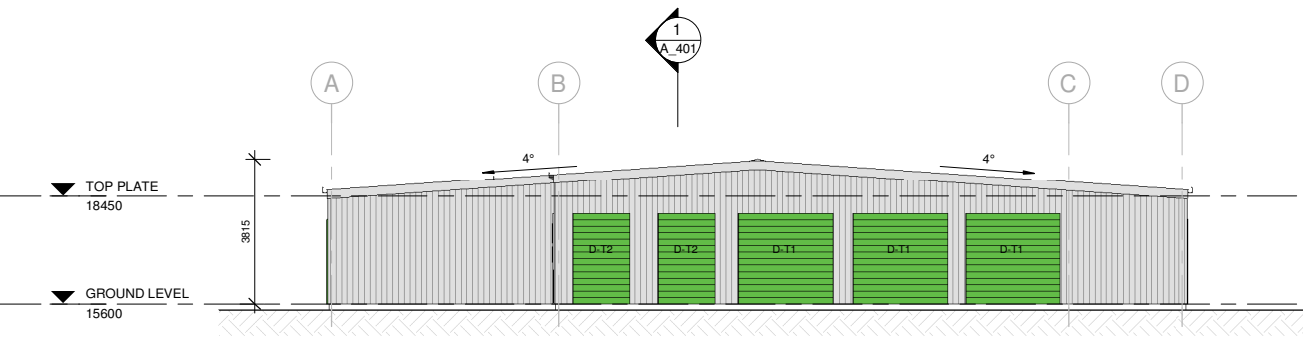
1 NORTH ELEVATION 1/2
 A_108 1 : 100



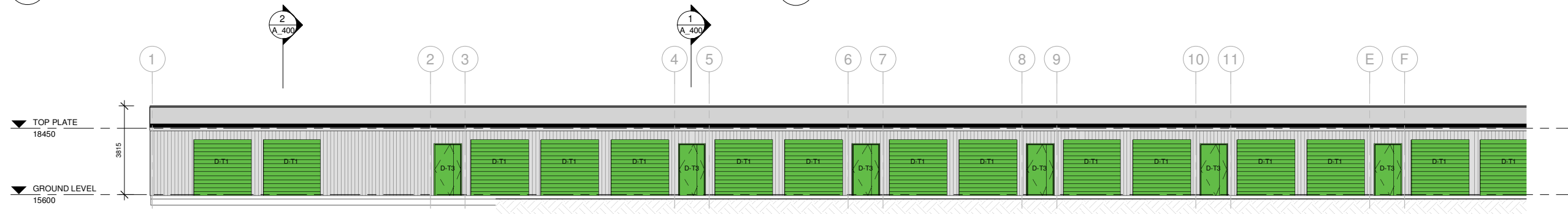
2 NORTH ELEVATION 2/2
 A_108 1 : 100



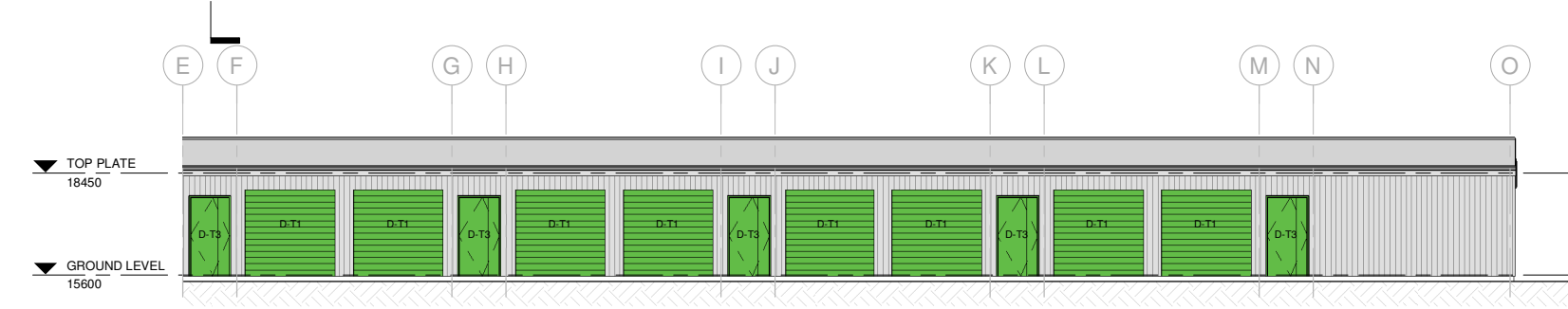
3 EAST ELEVATION
 A_108 1 : 100



4 WEST ELEVATION
 A_093 1 : 100



5 SOUTH ELEVATION 1/2
 A_093 1 : 100



6 SOUTH ELEVATION 2/2
 A_093 1 : 100

PRELIMINARY
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NOTES

ELEVATION LEGEND:

- Wall Cladding: Metacraft T-Rib vertical metal profile cladding system direct fixed on 60mm top hat girts on structural steel framing. Colour TBC.
- Roof Cladding: Metacraft T-Rib profile roofing on Thermakraft Covertek 403 over Thermakraft Ausmesh safety mesh on roof framing. Colour TBC.

All final signage design and placement to be confirmed by Client

Signage to show booking info. Final design TBC by Client

SIGNAGE ASSESSMENT UNDER RULE 22.2 (1):

- Signage are attached to the building structure, and does not project onto, or over a road.
- Signage are not under street verandahs.
- Signage do not exceed the highest part of the roof.
- Main signage has minimum lettering height of 160mm.
- All signage and their messages are static.
- No free standing signage are directed at SH7, or to residential, rural-residential, and/or rural environmental zones.

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Sheet Name
PROPOSED ELEVATIONS

SCALE @ A1= 1 : 100

North	DESIGN	Designer
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	APPROVED	Approver

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1	A_200

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