



Layout	Sheet Name
A001	Site Plan
A100	Ground Floor Plan
A101	Wall Framing Plan
A200	Elevations
A201	Elevations

DWA

Sullivan Residence
 Lot 6, Moana
 Resource Consent Issue

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Sullivan Residence
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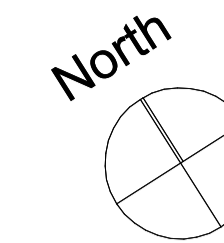
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SHEET NAME		SCALE	
Cover Page		1:1 SCALE DOUBLED AT A3	
CLIENT	Sullivan Family	DRAWN	DBS & KM
DATE	1/10/2024	CHECKED	DWA
JOB NO.	DW1475		

REVISION
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 DRAWING NO.





PROJECT INFO:

Address: Lot 6
Lake Brunner Road
Moana

Legal Description: Lot 6 DP 341128

Title: -

Site Area: 1.1787Ha (more or less)

Building Area: House : 144.3m²
Garage : 42.12m²

Site Coverage: 1.58%

Planning Zone: Rural
Wind Zone: Very High
Earthquake Zone: 4
Exposure Zone: C
Sea Spray Zone: -
Climate Zone: 4

SITE PLAN LEGEND

- Boundary Line
- Boundary setback as per Grey District Plan
- BUILDINGS / PROPOSED BUILDINGS
- ▨ Driveway / Paved Area
Sealed Concrete
- 1:100min falls as shown, typically away from dwelling
- finish to have slip resistance to comply with NZBC D1/AS1
- ▨ Gravel Driveway

SITE PLAN GENERAL NOTES

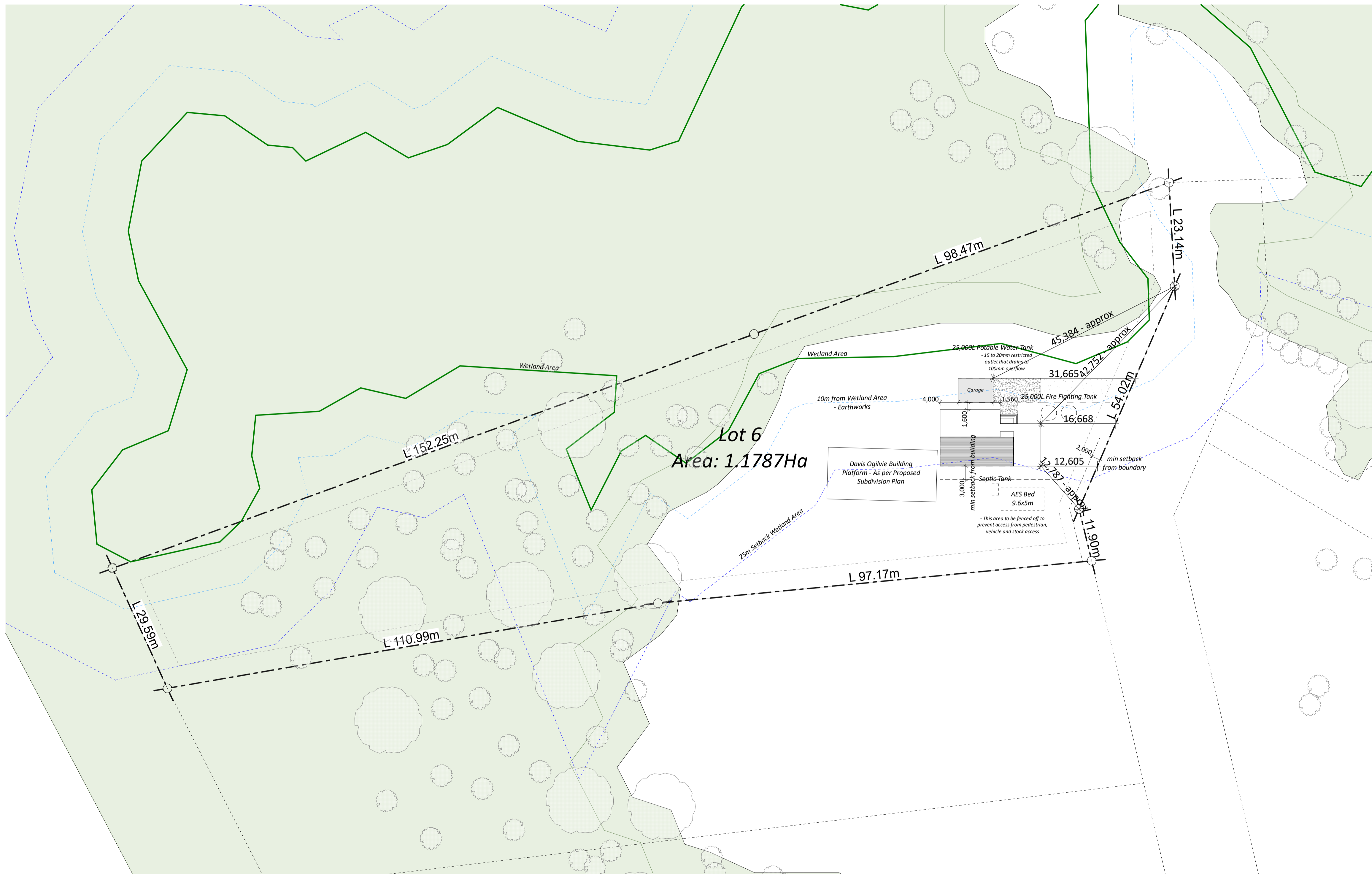
Contractor to confirm all dimensions on site.

All drawings to be read in conjunction with engineering/consultants documentation.

Confirm all existing services on site.

Contractor to confirm with designer if there is a conflict between consultant documentation and accepts liability for decisions made without consultation.

All unpaved areas are to be a minimum of 225mm below Finished Floor Level. Paved areas to be a minimum of 150mm.



1. Site Plan
SCALE 1:500

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Lot 6, Moana

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SHEET NAME
Site Plan

CLIENT Sullivan Family
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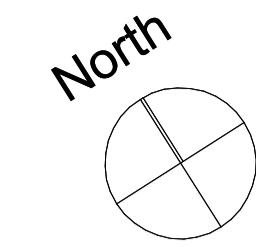
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A001





GENERAL NOTES:

All entries and exits to be in accordance with NZBC D1/AS1.

Refer to Door and Window Schedules for lintel sizes.

LEGEND

3.1.3 BOARD & BATTEN WALL CLADDING
Shadowclad Board & Batten cladding on 20mm cavity battens on 7mm Ecoply Barrier



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SHEET NAME
Ground Floor Plan

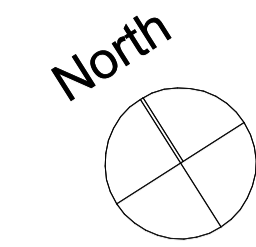
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A100





WALL NOTES:

Internal timber framed walls to be **90x45mm** H1.2 SG8 timber, studs @ **600mm** crs, dwangs @ 800mm crs.

House: External timber framed walls to be **90x45mm** H1.2 SG8 timber, studs @ **400mm** crs, 90x45mm SG8 H1.2 dwangs @ 800mm crs, unless noted otherwise.

Garage: External timber framed walls to be **90x45mm** H1.2 SG8 timber, studs @ **300mm** crs, 90x45mm SG8 H1.2 dwangs @ 800mm crs, unless noted otherwise.

Top Plate Fixing: Top plate to be fixed to studs @ 600mm max crs with 2-90 x 3.15 end nails + 2 wire dogs or 4.7kN alternative fixing unless noted otherwise

Timber Floor Bottom Plate Fixing: Fixings as per NZS 3604: 2011, table 8.19 - Nailing Schedule for hand driven and power driven nails

Bottom Plate Fixing: Proprietary anchor's @ 900mm max crs with 50x50x3mm flat washer unless noted otherwise

H1 COMPLIANCE

Calculation method is to be used.

WINDOW TO WALL RATIO: 27 %

ROOF: x2 R3.6 (180mm) Fibreglass batts or similar
 FLAT ROOF: R1.75 (40mm) Kingspan Board or similar
 WALL (90): R2.8 (90mm) Fibreglass batts or similar
 FLOOR: R2.9 (140mm) Greenstuf Thermal Underfloor Blanket or similar
 GLAZING: R0.46

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SHEET NAME
Wall Framing Plan

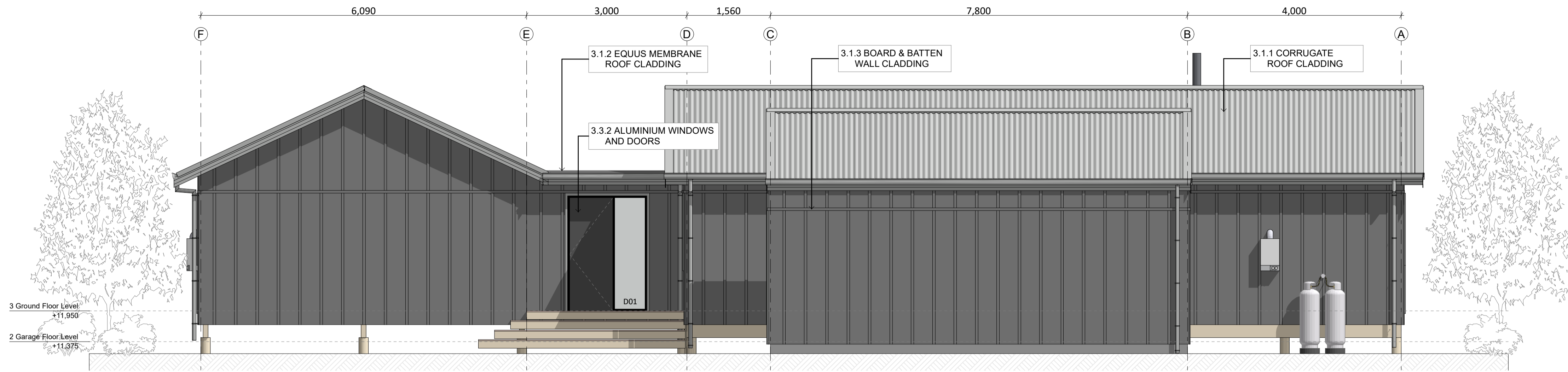
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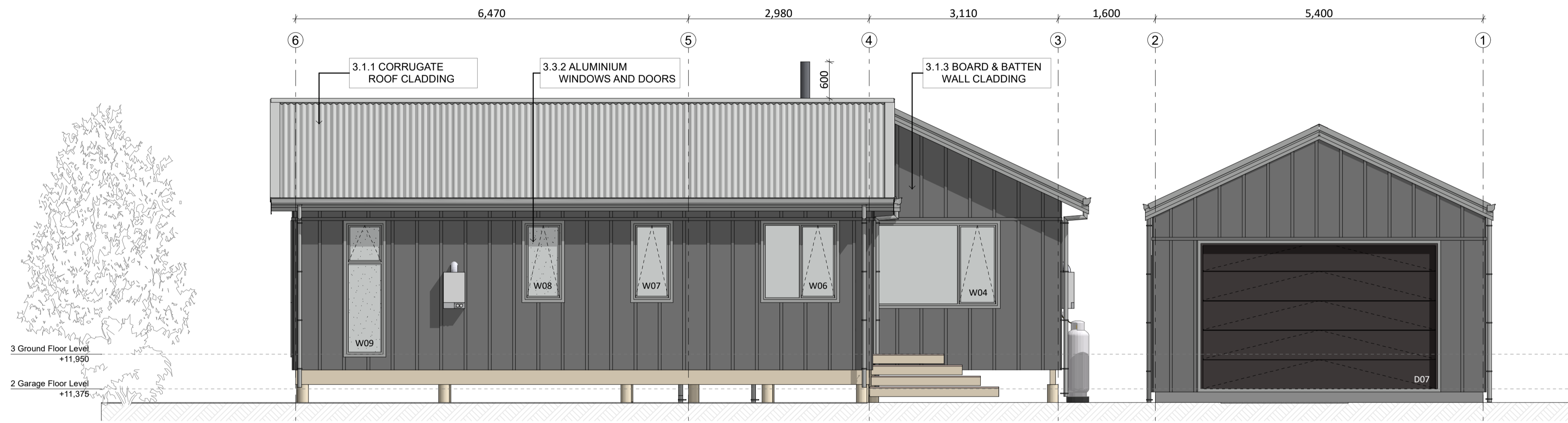
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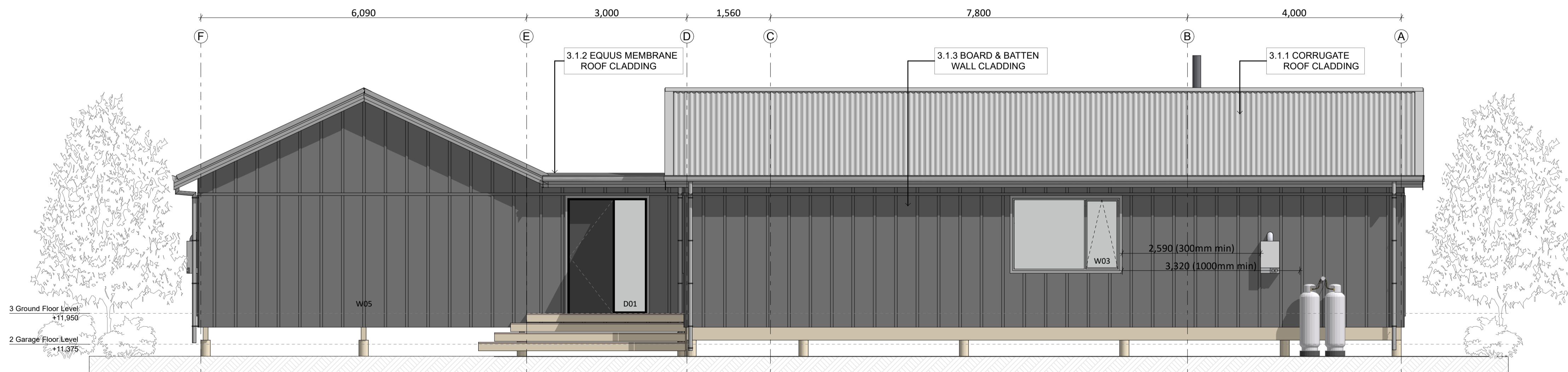




E01 North Elevation
SCALE 1:50



E02 East Elevation
SCALE 1:50



E05 North Elevation
SCALE 1:50

- LEGEND**
- 3.1.1 CORRUGATE ROOF CLADDING**
0.40mm BMT Corrugate Colorsteel roofing system, on ex 75x50 H1.2 purlins at 900c/s, building wrap and H1.2 rafters/trusses, refer framing plans for sizing and spacings extents
 - 3.1.2 EQUUS MEMBRANE ROOF CLADDING**
Equus DuO Two Layer membrane system over 17.5mm CD grade H3 treated plywood (CCA) with a nominal fall of 2 deg.
 - 3.1.3 BOARD & BATTEN WALL CLADDING**
Shadowclad Board & Batten cladding on 20mm cavity battens on 7mm Ecoply Barrier
 - 3.3.2 ALUMINIUM WINDOWS AND DOORS**
Aluminium joinery system. Double glazed IGUs with Argon Gas and Low E coating. (Ug 1.1 LowE4/Clear (Argon) (Double) Powdercoat Finish to aluminium colour selected. - R0.46 Value

Risk Matrix - North

Wind zone:	2
Number of storeys:	0
Roof/wall intersection:	0
Eaves width:	1
Envelope complexity:	0
Deck design:	0
TOTAL:	3

Risk Matrix - East

Wind zone:	2
Number of storeys:	0
Roof/wall intersection:	0
Eaves width:	1
Envelope complexity:	0
Deck design:	0
TOTAL:	3

Risk Matrix - South

Wind zone:	2
Number of storeys:	0
Roof/wall intersection:	0
Eaves width:	1
Envelope complexity:	0
Deck design:	0
TOTAL:	3

Risk Matrix - West

Wind zone:	2
Number of storeys:	0
Roof/wall intersection:	0
Eaves width:	1
Envelope complexity:	0
Deck design:	0
TOTAL:	3

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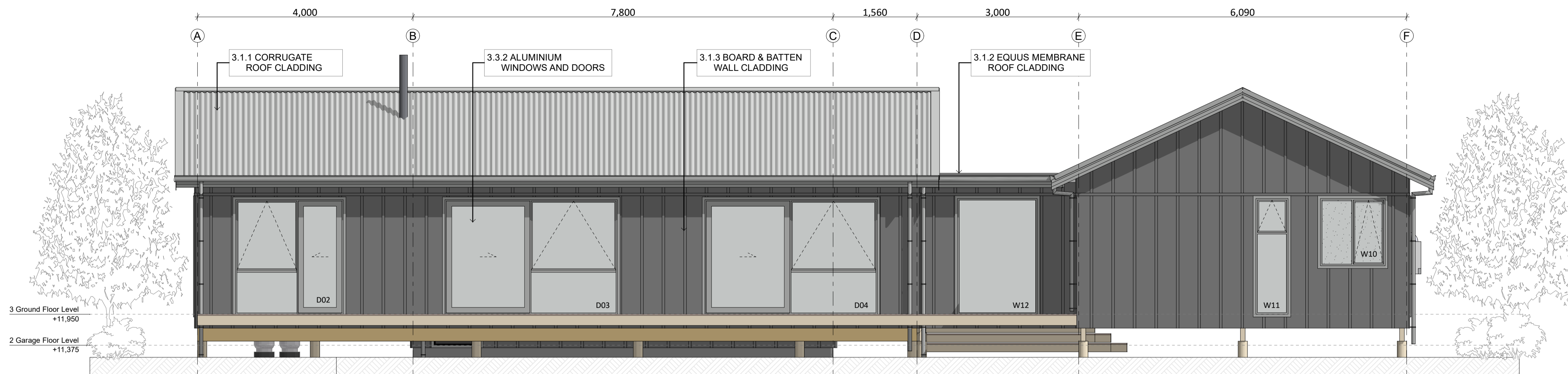
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Lot 6, Moana

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SHEET NAME		Elevations	
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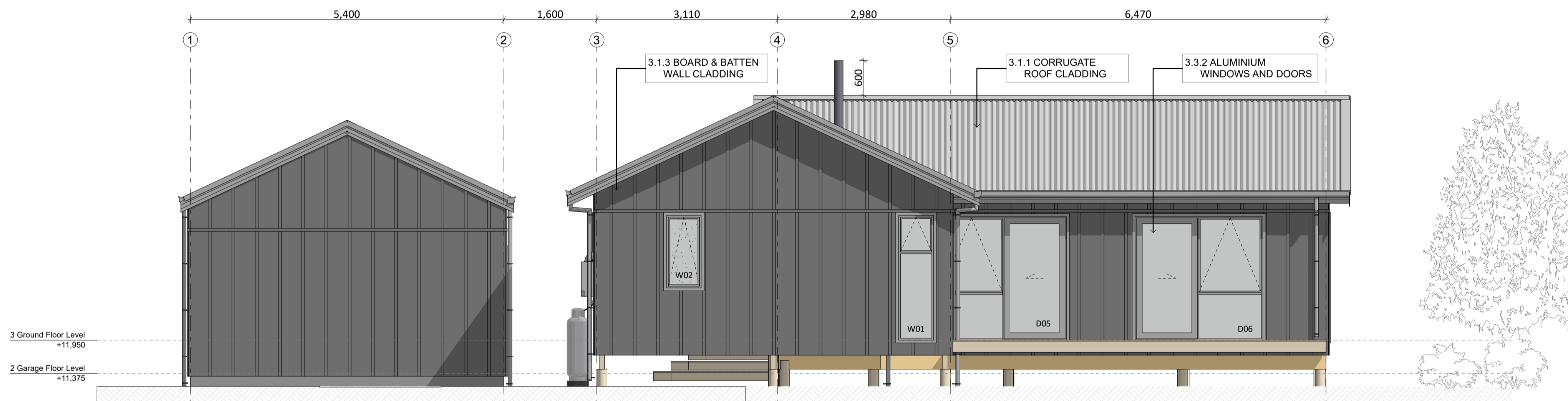
REVISION	H
DRAWING NO.	A200





E03 South Elevation
SCALE 1:50

- LEGEND**
- 3.1.1 CORRUGATE ROOF CLADDING**
0.40mm BMT Corrugate Colorsteel roofing system, on ex 75x50 H1.2 purlins at 900c/s, building wrap and H1.2 rafters/trusses. refer framing plans for sizing and spacings extents
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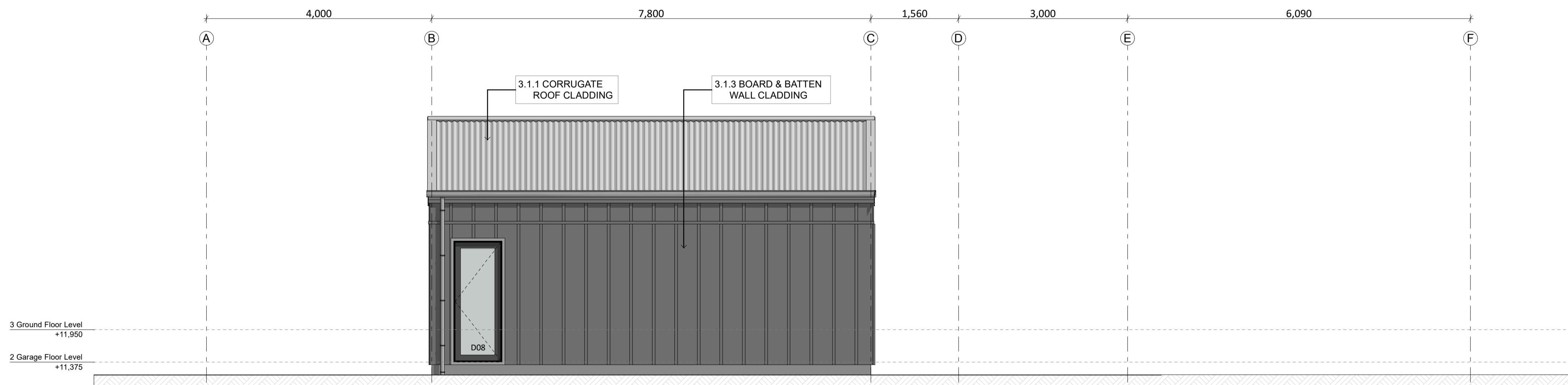
E04 West Elevation
SCALE 1:50

Risk Matrix - South

Wind zone:	2
Number of storeys:	0
Roof/wall intersection:	0
Eaves width:	1
Envelope complexity:	0
Deck design:	0
TOTAL:	3

Risk Matrix - West

Wind zone:	2
Number of storeys:	0
Roof/wall intersection:	0
Eaves width:	1
Envelope complexity:	0
Deck design:	0
TOTAL:	3



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