

Application No: LU3235-24

7 June 2024

Design Workshop Architecture  
5 1008 Ferry Road  
Ferrymead  
Christchurch 8023

Dear Craig

**Resource Consent Application: Notice of Decision on Non-notified Application**

I am pleased to inform you that your application for resource consent to build eight accessible residential dwellings that breaches the road boundary setback and not within the minimum site area distances at 14-16 Doyle Street, Blaketown in the Residential Environmental Area was granted (our ref. 3235) on 7 June 2024.

The decision and the consent conditions are attached.

It is very important that you understand and comply with all the conditions of your consent. If you have any questions or concerns about any aspect of your consent or its conditions, I would be happy to discuss them with you.

Please be aware that there may be ongoing monitoring.

You may commence your activity immediately, unless you lodge an objection to this decision as per the second page of this decision under section 357 of the Resource Management Act 1991. Also, before you can build you will require a building consent therefore that will need to be obtained, please contact the Building Inspectors.

The costings for this resource consent have not yet been calculated, an invoice or refund will follow shortly.

Please feel free to contact me on 03 769 8607 if you have any questions or concerns.

Yours faithfully,



Melissa Stenhouse  
**Environmental Planning Officer**

Application: LU3235-24  
Valuation Number: 25640/376.00, and 25640/377.00

7 June 2024

Brown and Son Construction 2009 Ltd  
C/- Design Workshop Architecture  
5/1008 Ferry Road  
Ferrymead  
Christchurch 8023

By email: kenya@dwa.co.nz

Dear Sir/Madam

#### **RESOURCE MANAGEMENT ACT 1991**

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- **RESOURCE CONSENT APPLICATION REFERENCE:** LU 3235/24
- **TYPE OF RESOURCE CONSENT:** Land Use
- **LEGAL DESCRIPTION:** Lot 1 Sec 32 DP 415, Lot 2 Sec 32 DP 415, and Lot 4 DP 3326
- **PROPERTY LOCATION:** 14 Doyle Street and 16 Doyle Street
- **APPLICATION DESCRIPTION:** It is proposed to construct 8 Accessible Residential Dwellings at 14 and 16 Doyle Street, within the Residential Environmental Area.

This application is considered a **Discretionary Activity** under the Operative Grey District Plan.  
This application is considered a **Permitted Activity** under the Proposed Te Tai o Poutini Plan.

The following rules apply:

- 16.7.4.i.a - The proposed buildings infringe the front road boundary setback on both road boundaries by approximately 2.4m to 2.7m
- 16.7.2.i.a – The proposed minimum site area is between 130m<sup>2</sup> and 180m<sup>2</sup>.

The Resource Management Officer Committee of the Grey District Council, acting under delegation pursuant to Section 34A of the Resource Management Act 1991 (the Act), has considered this application on a non-notified basis and resource consent LU3135/24, attached and marked 'A' has been granted subject to conditions.

#### **Compliance with conditions**

It should be emphasised that to ensure that you comply with this resource consent, all conditions of the resource consent must be complied with and the consent holder must continue to comply with all conditions in order that the activity remains lawfully established.

**Objection to certain decisions and requirements of consent authorities (refer section 357A of the Act)**

You have the right to object to all or part of the Council's decision on your application. If you wish to object, an objection supported by reasons must be lodged in writing with the Council within **15 working days** of your receipt (or receipt by the person who filed the application on your behalf) of the Council's decision.

### **Rights of the consent holder**

Your status as consent holder of this resource consent provides you with certain rights with regard to the Council's decision. If you are intending to exercise your legal rights regarding the Council's decision and you are in doubt as to how to proceed, it is strongly recommended that you consult your agent/lawyer.

### **Term and lapsing of resource consent (refer sections 123 and 125 of the Act)**

This resource consent has an unlimited term **once** it has been given effect to, however you should note that pursuant to section 125 of the Act, a resource consent lapses five years after the date of that resource consent was granted, unless the consent has been given effect to, or after the expiry of such a shorter/longer lapsing period as is expressly provided for in the consent.

### **Application for change or cancellation of consent conditions (refer section 127 of the Act)**

The consent holder may apply for a change or cancellation of a condition of the consent. However, no holder of any consent may apply for a change or cancellation of a condition on the duration of the consent.

Such an application would be treated in the same manner as any other resource consent application, incurring normal Council processing charges. Prior to lodging the application it may be wise to obtain written consent from every person who may be adversely affected by the granting of the change or cancellation.

Where the proposed change or cancellation causes the proposal to be 'materially different in character' in its effects to the proposal originally authorised, a new resource consent will be required to be submitted in accordance with section 88 of the Act.

**Please contact the Environmental Planning Department at the Grey District Council if you have any questions regarding this information on (03) 769 8607.**

### LAND USE CONSENT LU 3235/24

- 1 This resource consent is granted by the Grey District Council pursuant to section 42A of the Resource Management Act 1991 (the Act) and is subject to the attached conditions imposed in accordance with section 108 of the Act.
- 2 This Consent is Granted to: Brown and Son Construction 2009 Ltd
- 3 Application Description: It is proposed to construct 8 Accessible Residential Dwellings at 14 and 16 Doyle Street, within the Residential Environmental Area.
- 4 Property Address: 14 Doyle Street and 16 Doyle Street
- 5 Legal Description: Lot 1 Sec 32 DP 415, Lot 2 Sec 32 DP 415, and Lot 4 DP 3326
- 6 Valuation Number: 25640/376.00, and 25640/377.00
- 7 Date of Decision: 7 June 2024



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**Delegated Authority  
Michael McEnaney  
Regulatory Manager**

## **LAND USE CONSENT LU3235/24 – SCHEDULE OF CONDITIONS**

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Pursuant to section 108 of the Resource Management Act 1991 this resource consent is subject to the following conditions:

### **1. General**

- (1) The consent holder shall comply with the application and plans lodged 16 April 2024 and further information received 9 May 2024, unless inconsistent with any of these conditions.
- (2) The consent holder shall comply with the site plan that was received as part of the application or part of further information; attached and marked 'B'.

### **2. Setbacks**

- (1) The units are to be built as shown on the site plan submitted and attached, marked 'B', at a distance no less than 2.7 metres from the Doyle Street Road boundary and no less than 2.4m from the Coakley Street Road boundary.

### **3. Lighting**

- (1) All external lighting must be angled so that they do not spill any more than 2.5 lux or of light (horizontal and vertical) onto the adjoining property, measured at any point more than 2 metres inside the boundary of the adjoining property or the windows, whichever is the closer.

### **4. Landscaping and Screening**

- (1) The consent holder shall landscape in accordance with the attached Landscape Plan marked 'C'.
- (2) Condition 4.1 shall be completed prior to the occupation of any dwelling.
- (3) All landscaping shall be maintained to an acceptable standard at all times. Any diseased or damaged landscaping shall be replaced within one (1) month of discovery with plants of similar species. Refer to advice notes for definition of acceptable standard.

### **5. Entranceway(s)**

- (1) Council are to be notified when the demolition of the existing crossing occurs.
- (2) Entranceways to the site shall be formed and sealed to Grey District Council Urban Entranceway standard, attached and marked 'D', at full cost to the consent holder.

### **6. Services**

- (1) Utilities connection consent must be obtained prior to any of the proposed services being installed.

### **7. Units occupancy restrictions**

- (1) The consent holder must ensure that primary occupants of all units are no less than 60 years old.



## 8. Cost

- (1) All actual and reasonable costs incurred by the Council in monitoring, enforcement and administration of this resource consent shall be met by the consent holder.

## 9. Review

- (1) Pursuant to section 128(1) of the Resource Management Act 1991, the consent authority may, at or within 6 months of any anniversary of the date of consent, review the conditions for any of the following purposes:
  - a) To deal with any adverse effect on the environment which may arise from the exercise of the consent and which is appropriate to deal with at a later stage;
  - b) To require the adoption of the best practicable option to remove or reduce any adverse effect on the environment;
  - c) To deal with inaccuracies contained in the consent application that materially influenced the decision made on the application and is such that it is necessary to apply more appropriate conditions;
  - e) To assess the appropriateness of imposed compliance standards, monitoring parameters, monitoring regimes and monitoring frequencies and to alter these accordingly;
  - f) To take account of the rules, regulations and policies set out in any relevant District Plan.

Any such notice of the review of the conditions will be served in accordance with section 129 of the Resource Management Act 1991.

### **ADVICE NOTES:**

1. The consent holder is required to comply with all statutory requirements, bylaws, Acts, ordinances and lawful directions of officers of the Council.
2. Any damage to existing Grey District Council infrastructural assets caused by works associated with the exercise of this resource consent shall be repaired to Grey District Council standard at full cost to the consent holder.
3. Prior to the commencement of any building work building consent will be required.
4. At the time of building the consent holder will need to show the location of the legal boundary of the property, showing either survey pegs or having had a registered surveyor define the boundary positions. This will be required for both building consent purposes and monitoring of this resource consent.
5. Stormwater or overflow shall be disposed of in accordance with the Building Code and Regulations 2002 (E1) Surface Water.
6. The wall of any building which is intended to be subdivided in the future shall be constructed as a firewall in accordance with the New Zealand Building Code 2005.
7. The site is within a known flood hazard area. This matter is being dealt with through the building consent process.



8. You must apply for a road works consent to allow contractors that are associated with your development to park on the street, footpath or other public space. Phone the Council 03 769 8600.
9. All conditions of this consent will be monitored by Council staff at any time to ensure compliance with the condition of consent. Please also refer to the condition headed 'costs'.
10. All works on public road reserve will require a road-works consent from the Transport Department of the Grey District Council. This will include any connection to Council services.
11. The consent holder shall advise Heritage New Zealand immediately on the discovery of any archaeological sites or areas uncovered by earthworks associated with construction of the road, and that the sites or areas shall not be modified or disturbed in any way unless written authorisation is first obtained from Heritage New Zealand.
12. Maintained to an "acceptable standard" for fencing and landscaping requires:
  - Removal and replanting of diseased and deceased plants;
  - Removal of moss and lichen growth;
  - Removal of rubbish;
  - Removal of weeds;
  - Removal and replacement of any broken and/or rotten timber.
  - Removal and replacement of any rusting metal sheeting

#### **REASONS FOR DECISION PURSUANT TO SECTION 113 OF THE RESOURCE MANAGEMENT ACT 1991**

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1. The proposed activity is consistent with objectives and policies of the operative Grey District Plan and proposed Te Tai o Poutini Plan subject to the imposition of conditions.
2. This proposal has not been found to be inconsistent with any of the following provision:
  - The New Zealand Coastal Policy Statement
  - The West Coast Regional Policy Statement
  - West Coast Regional Plans
  - National Environmental Standards
  - National Policy Statements
3. Written approvals have been provided by several adjacent land owners and so effects on those properties are able to be disregarding, result in the activity having less than minor and acceptable adverse effects.
4. The proposal will provide accessible accommodation to elderly and provide a benefit to the community in this regard.
5. The proposed infringements are suitably mitigated through landscaping which is required to be maintained by the consent holder.
6. The purposes and principles of sustainable management of the environment, under Part 2, section 5 of the Resource Management Act 1991, will not be compromised by granting this resource consent. All relevant statutory provisions were considered and assessed by Council, under Part 3, section 9 restrictions on use of land. The proposed activity is consistent with Part 5 of the Resource Management Act 1991.



Yours sincerely

A handwritten signature in blue ink that reads "McEnaney". The signature is stylized with a large "M" and "E". A horizontal line is drawn underneath the signature.

**Delegated Authority  
Michael McEnaney  
Regulatory Manager**



|      |                                       |
|------|---------------------------------------|
| A000 | PROJECT INTRODUCTION                  |
| A101 | EXISTING SITE & SEDIMENT CONTROL PLAN |
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| A103 | SITE BOUNDARY PLAN                    |
| A104 | SITE SERVICES PLAN                    |
| A105 | SITE LANDSCAPING PLAN                 |
| A106 | VEHICLE MANEUVERING                   |
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| A202 | FOUNDATION PLAN - UNITS 1-2           |
| A203 | DRAINAGE PLAN - UNITS 1-2             |
| A204 | FRAMING PLAN - UNITS 1-2              |
| A205 | ROOF PLAN - UNITS 1-2                 |
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| A207 | ELECTRICAL PLAN - UNITS 1-2           |
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| A401 | FLOOR PLAN - UNITS 7-8                |
| A402 | FOUNDATION PLAN - UNITS 7-8           |
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| A404 | FRAMING PLAN - UNITS 7-8              |
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| A501 | SECTIONS                              |
| A502 | SECTIONS                              |
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| A601 | ELEVATIONS                            |
| A602 | ELEVATIONS                            |
| A603 | ELEVATIONS                            |
| A604 | ELEVATIONS                            |
| A605 | ELEVATIONS                            |
| A606 | ELEVATIONS                            |



**Doyle Street Development**  
 14 - 16 Doyle Street, Blaketown, Greymouth  
 Resource Consent Issue

B



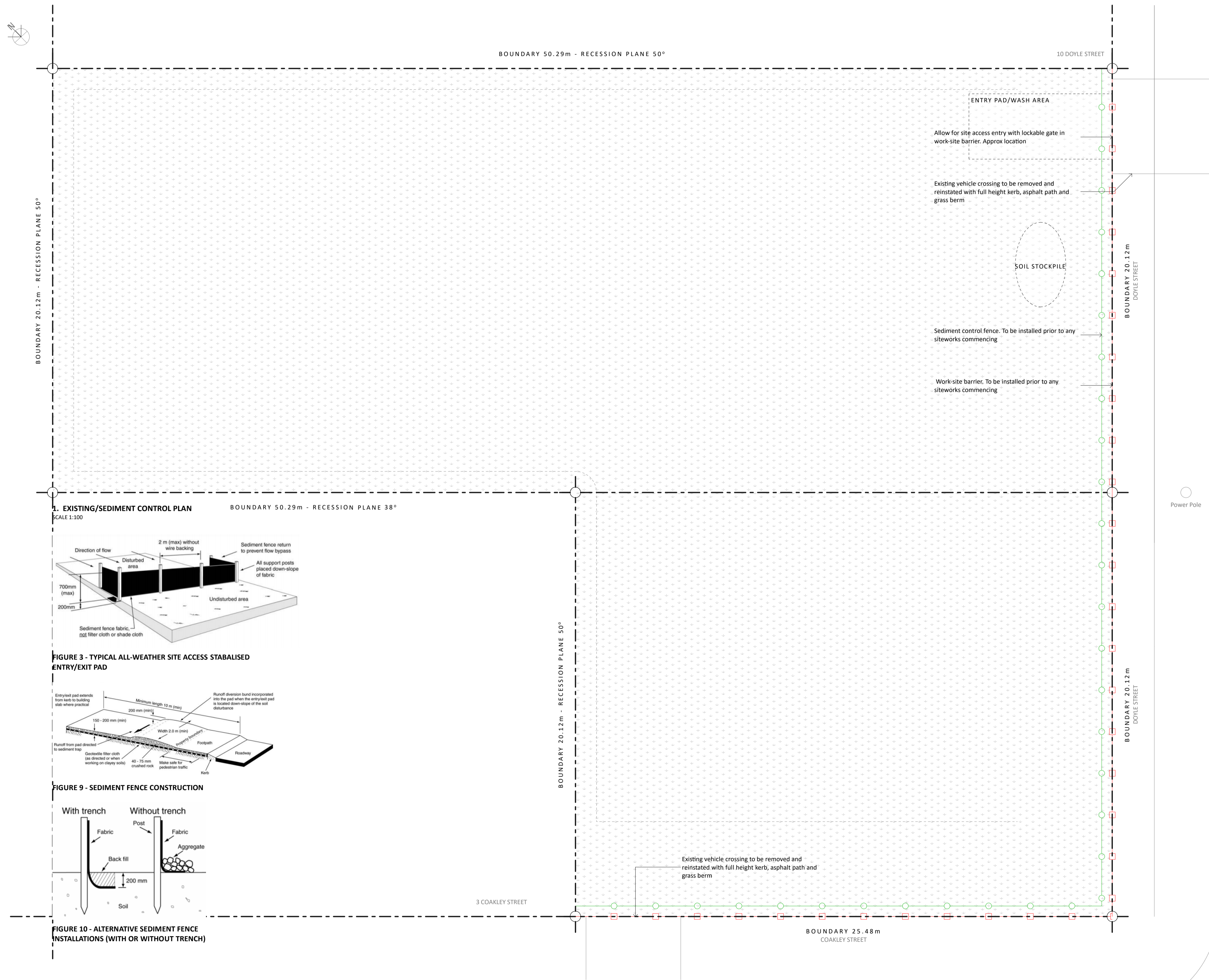
DO NOT SCALE DRAWINGS. ALL CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING WORK OR ORDERING MATERIALS. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS AND VICE VERSA. ALL WORK SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE AND ALL RELEVANT AND ASSOCIATED STANDARDS, CODES AND TERRITORIAL AUTHORITY BYLAWS. ALL PROGRESSIVE ITEMS AND MATERIALS SHALL BE FIXED, INSTALLED OR APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALL WORK SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE BUILDING CONSENT AND ANY RESOURCE CONSENTS ISSUED FOR THIS PROJECT. SITE LEVELS SHOWN ARE AS EXISTING. REFER TO SURVEYOR FOR ACCURATE SITE PLAN DIMENSIONS. A REGISTERED SURVEYOR IS TO SET OUT THE BUILDING BEFORE CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR AMBIGUITIES SHALL BE CLARIFIED WITH DESIGN WORKSHOP BEFORE ANY FURTHER WORK COMMENCEMENT. ALL RIGHTS RESERVED. THIS DRAWING & ALL GRAPHIC & WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES THE ORIGINAL & UNPUBLISHED WORK OF DESIGN WORKSHOP LTD. & MAY NOT BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR PART WITHOUT EXPRESSED WRITTEN PERMISSION. © DESIGN WORKSHOP LTD.

**Doyle Street Development**  
 14 - 16 Doyle Street, Blaketown, Greymouth

| STAGE              | REV | DATE       |
|--------------------|-----|------------|
| Concept            | A   | -          |
| Truss & Foundation | B   | 05/10/2023 |
| Resource Consent   | C   | 08/04/2024 |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |

| SHEET NAME                  |                          |         |                                       |
|-----------------------------|--------------------------|---------|---------------------------------------|
| <b>PROJECT INTRODUCTION</b> |                          |         |                                       |
| CLIENT                      | Doyle Street Development | SCALE   | 1:174.34, 1:11<br>SCALE DOUBLED AT A3 |
| DATE                        | 8/04/2024                | DRAWN   | SB                                    |
| JOB NO.                     | DW1470                   | CHECKED | DBS                                   |

| REVISION                      |
|-------------------------------|
| <b>Resource Consent Issue</b> |
| DRAWING NO.                   |
| <b>A000</b>                   |



1. EXISTING/SEDIMENT CONTROL PLAN  
SCALE 1:100

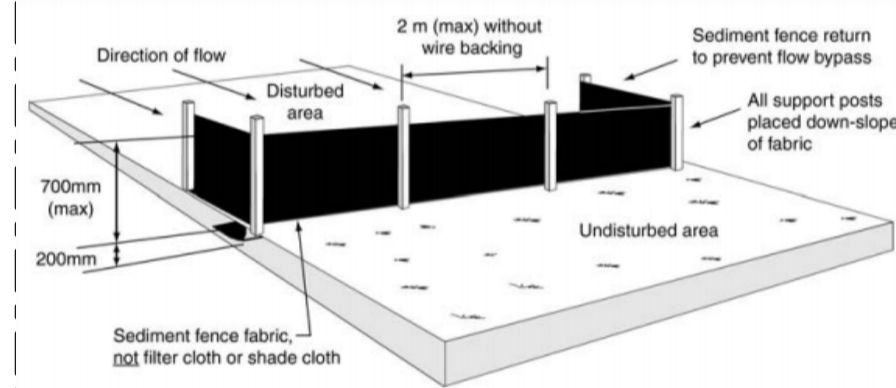


FIGURE 3 - TYPICAL ALL-WEATHER SITE ACCESS STABILISED ENTRY/EXIT PAD

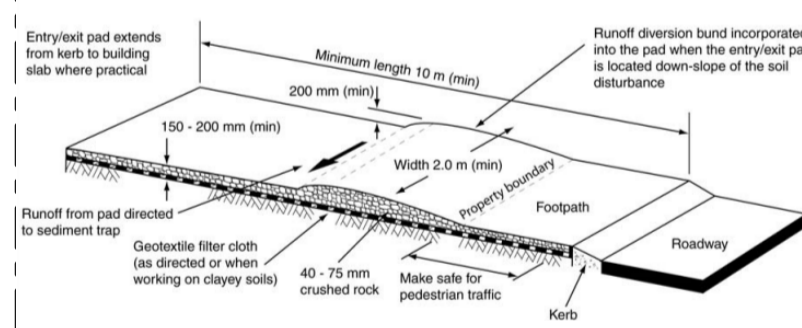


FIGURE 9 - SEDIMENT FENCE CONSTRUCTION

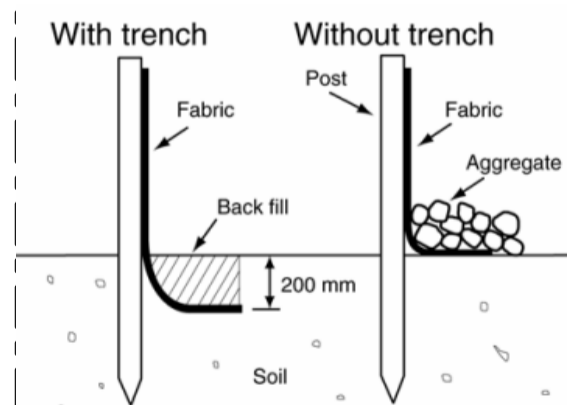


FIGURE 10 - ALTERNATIVE SEDIMENT FENCE INSTALLATIONS (WITH OR WITHOUT TRENCH)

**SEDIMENT CONTROLS**

Sediment controls to be taken during the construction process. To be read in conjunction with Environment Canterbury's "Erosion and Sediment Control Guideline 2007".

All sediment control measures & structures are to be installed prior to major earthworks and are to be checked and maintained daily as required.

Work area shall be protected by site fencing to comply with F5.

Provide stabilised entry pad & wash down area for contractor vehicles in accordance with ECAN sediment control for small sites.

A runoff diversion bund will be included in the site access way if required. All sediment on footpaths and roads to be removed as soon as practicable.

All ground cover vegetation and trees outside the immediate building area to be preserved during the building phase.

Excavated topsoil is to be spread around the site and flattened where possible. The rest is to be removed from site. While stored on site all soil is to be covered with impervious sheet

Roof water downpipes to be connected to the permanent underground stormwater drainage system as soon as practical after the roof is laid.

**SEDIMENT CONTROL RESPONSIBILITIES**

Person responsible for implementation and maintenance of sediment controls is:

Mobile: -  
Email: -

**SEDIMENT CONTROL FENCE:**

Refer to Figure 9 & 10 - From Environment Canterbury - Erosion and Sediment Control Guidelines for Small Sites Figure 9 & 10 pg 10

Sediment control fence:



**WORK-SITE BARRIERS**

Work-site barriers to be installed in accordance with NZBC F5/AS1 Table 1, all work-site barriers to be erected prior to commencement of works.

Work-site Barrier:



**LEGEND - LEVELS**

Proposed Finished Ground / Surface Level

Existing Ground Level

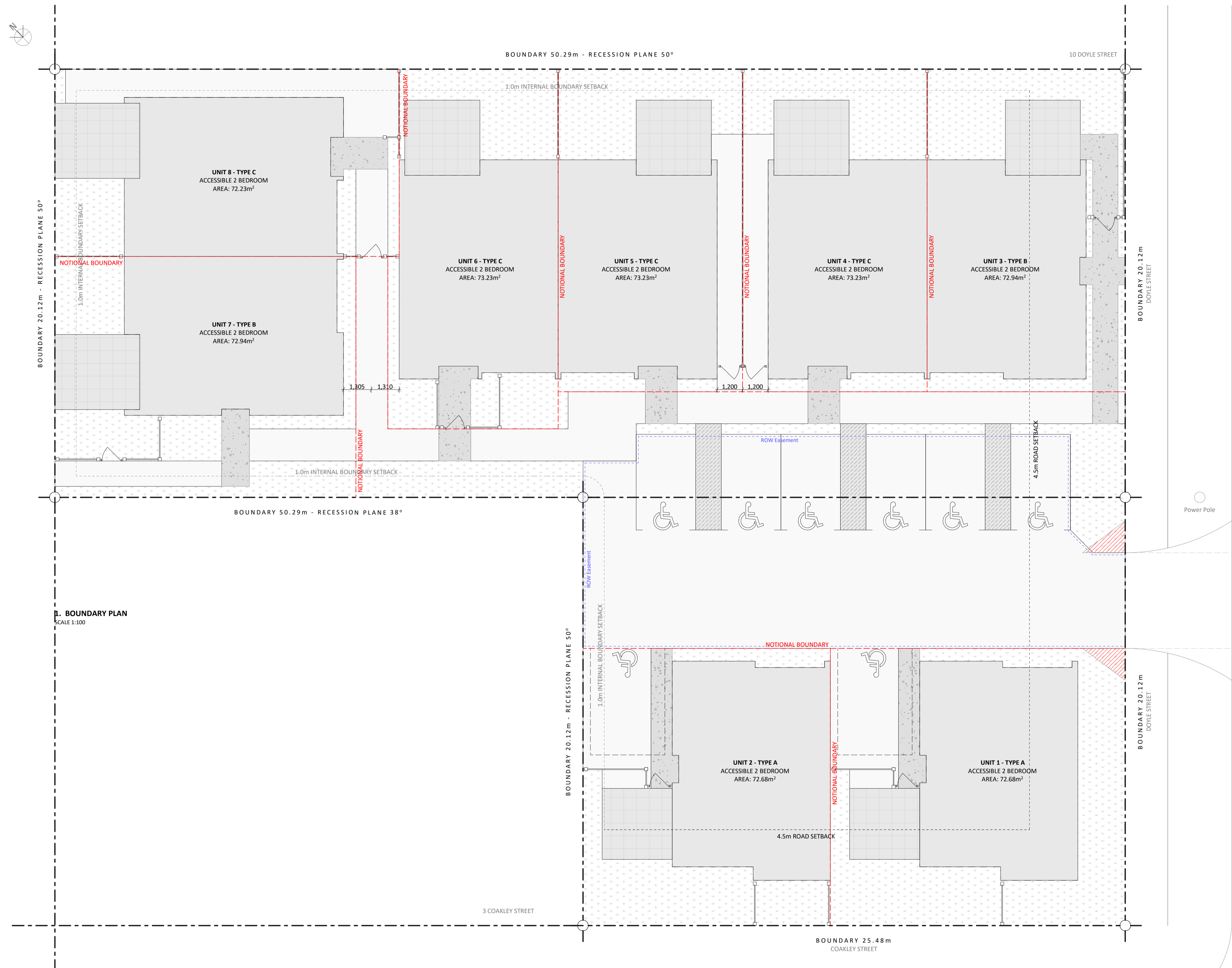
Existing Site Levels based on - survey plan Ref., carried out -

**B**

| STAGE              | REV | DATE       |
|--------------------|-----|------------|
| Concept            | A   | -          |
| Truss & Foundation | B   | 05/10/2023 |
| Resource Consent   | C   | 08/04/2024 |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |

| SHEET NAME                                       |                              |
|--------------------------------------------------|------------------------------|
| <b>EXISTING SITE &amp; SEDIMENT CONTROL PLAN</b> |                              |
| CLIENT                                           | Doyle Street Development     |
| SCALE                                            | 1:100<br>SCALE DOUBLED AT A3 |
| DATE                                             | 08/04/2024                   |
| DRAWN                                            | SB                           |
| JOB NO.                                          | DW1470                       |
| CHECKED                                          | D8S                          |

| REVISION                      |  |
|-------------------------------|--|
| <b>Resource Consent Issue</b> |  |
| DRAWING NO.                   |  |
| <b>A101</b>                   |  |



**B. BOUNDARY PLAN**  
SCALE 1:100

**PROJECT INFO:**

|                    |                                                |
|--------------------|------------------------------------------------|
| Address:           | 14 - 16 Doyle Street<br>Blaketown<br>Greymouth |
| Legal Description: | Lot 4 DP 3326<br>Lot 2 DP 415                  |
| Site Area:         | 1524m <sup>2</sup> (more or less)              |
| Site Coverage:     | 38.31%                                         |
| Planning Zone:     | Grey District Residential                      |
| FMA:               | Yes                                            |
| Min. FFL:          | -                                              |
| Wind Zone:         | Medium                                         |
| Earthquake Zone:   | 3                                              |
| Exposure Zone:     | D                                              |
| Climate Zone:      | 4                                              |

**SITE BOUNDARY LEGEND:**

- Property/Notional Boundary
- R.O.W. Easement/Access Lot
- Vegetation  
- Refer to site/landscaping plan for further detail

**PROJECT FIGURES:**

|                                      |                        |
|--------------------------------------|------------------------|
| <b>Gross Floor Area (Over Frame)</b> |                        |
| Townhouse 1:                         | 72.68m <sup>2</sup>    |
| Townhouse 2:                         | 72.68m <sup>2</sup>    |
| Townhouse 3:                         | 72.94m <sup>2</sup>    |
| Townhouse 4:                         | 72.23m <sup>2</sup>    |
| Townhouse 5:                         | 72.23m <sup>2</sup>    |
| Townhouse 6:                         | 72.23m <sup>2</sup>    |
| Townhouse 7:                         | 72.94m <sup>2</sup>    |
| Townhouse 8:                         | 72.23m <sup>2</sup>    |
| Total:                               | 580.16m <sup>2</sup>   |
| <b>Net Floor Area (Internal)</b>     |                        |
| Townhouse 1:                         | 69.38m <sup>2</sup>    |
| Townhouse 2:                         | 69.38m <sup>2</sup>    |
| Townhouse 3:                         | 69.04m <sup>2</sup>    |
| Townhouse 4:                         | 68.25m <sup>2</sup>    |
| Townhouse 5:                         | 68.25m <sup>2</sup>    |
| Townhouse 6:                         | 68.25m <sup>2</sup>    |
| Townhouse 7:                         | 69.04m <sup>2</sup>    |
| Townhouse 8:                         | 68.25m <sup>2</sup>    |
| <b>Impervious Areas</b>              |                        |
| Buildings:                           | 580.16m <sup>2</sup>   |
| Driveways:                           | 291.94m <sup>2</sup>   |
| Path:                                | 185.21m <sup>2</sup>   |
| Patio:                               | 100.04                 |
| Total:                               | 1,157.35m <sup>2</sup> |
| Percentage:                          | 75.94%                 |
| <b>All Landscaping Areas</b>         |                        |
| Total:                               | 248.37m <sup>2</sup>   |
| Percentage:                          | 16.30%                 |
| <b>Planting Areas</b>                |                        |
| Total:                               | 248.37m <sup>2</sup>   |
| Percentage:                          | 1.30%                  |

**EXCAVATION VOLUMES**  
Excluding the building foundations

|                             |                                                  |
|-----------------------------|--------------------------------------------------|
| Driveway:                   | 291.94m <sup>3</sup> x 0.3 = 87.58m <sup>3</sup> |
| Path/Patio:                 | 285.25m <sup>2</sup> x 0.1 = 28.53m <sup>3</sup> |
| 0.3m Fill (Max Depth)       |                                                  |
| 0.3m Excavation (Max Depth) |                                                  |

**Design Workshop Architecture**  
www.dwa.co.nz | info@dwa.co.nz | 91059 Ferry Road, Ferrywood, Christchurch

DO NOT SCALE DRAWINGS. ALL CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING WORK OR ORDERING MATERIALS. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS AND VICE VERSA. ALL WORK SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE AND ALL RELEVANT AND ASSOCIATED STANDARDS, CODES AND TERRITORIAL AUTHORITY BYLAW. ALL PROGRESSIVE ITEMS AND MATERIALS SHALL BE FIXED, INSTALLED OR APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALL WORK SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE BUILDING CONSENT AND ANY RESOURCE CONSENTS ISSUED FOR THIS PROJECT. SITE LEVELS SHOWN ARE AS EXISTING. REFER TO SURVEYOR FOR ACCURATE SITE PLAN DIMENSIONS. A REGISTERED SURVEYOR IS TO SET OUT THE BUILDING BEFORE CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR AMBIGUITY SHALL BE CLARIFIED WITH DESIGN WORKSHOP BEFORE ANY FURTHER WORK COMMENCEMENT. ALL RIGHTS RESERVED. THIS DRAWING & ALL GRAPHIC & WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES THE ORIGINAL & UNPUBLISHED WORK OF DESIGN WORKSHOP LTD. & MAY NOT BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR PART WITHOUT EXPRESSED WRITTEN PERMISSION. © DESIGN WORKSHOP LTD.

**Doyle Street Development**  
14 - 16 Doyle Street, Blaketown, Greymouth

|                    |     |            |
|--------------------|-----|------------|
| STAGE              | REV | DATE       |
| Concept            | A   | -          |
| Truss & Foundation | B   | 05/10/2023 |
| Resource Consent   | C   | 08/04/2024 |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |

**SHEET NAME**  
**SITE BOUNDARY PLAN**

|         |                          |         |                              |
|---------|--------------------------|---------|------------------------------|
| CLIENT  | Doyle Street Development | SCALE   | 1:100<br>SCALE DOUBLED AT A3 |
| DATE    | 08/04/2024               | DRAWN   | SB                           |
| JOB NO. | DW1470                   | CHECKED | D8S                          |

REVISION  
**Resource Consent Issue**

DRAWING NO.  
**A103**

**B**



1. SITE SERVICES PLAN  
SCALE 1:100

- LEGEND - PLUMBING & DRAINAGE**
- Gully trap (ORG)
  - Floor waste gully trap
  - Terminal vent (80mm dia)
  - Drain Stack
  - Inspection Point to NZBC/AS3500.2
  - Downpipe Connection
  - Flexible connection to match drain pipes size and type
  - NZBC E1/AS1 Type 1 Sump
  - Existing / New drain connection point
  - Rheem 180L Hot Water Cylinder in roof space
    - Installed to manufactures specifications
    - Seismic restraints as per details
    - 1165mm tall x 560mm width cylinder

- GENERAL NOTES**
- Contractor to install all new plumbing fixtures & appliances to manufactures specifications.
  - Contractor to furnish & install all hardware unless noted otherwise.
  - GIB Aqualine to be used in all bathroom areas with oil based paint finish
  - In wall 20mm plywood blocking at all sink, wall sconce, & accessory locations. Contractor to provide all blocking as required for proper installation of item.
  - All entries & exits to comply with NZBC D1/AS1.
  - Floor finishes for wet area rooms to comply with the requirements of NZBC E3 Internal Moisture, refer to layout A13
  - Support and Thermal Movement of Foul Water Drainage system to NZBC/AS 3500.2
  - All services penetrations through the floor slab shall have a flexible seal employed to allow some movement between the pipe and floor.

| SANITARY FIXTURES | SIZE  | GRADIENT |
|-------------------|-------|----------|
| Basin             | 40mm  | 1:40     |
| Bath              | 40mm  | 1:40     |
| Washing Machine   | 40mm  | 1:40     |
| Dishwasher        | 40mm  | 1:40     |
| Kitchen Sink      | 50mm  | 1:40     |
| Laundry Tub       | 50mm  | 1:40     |
| Shower            | 40mm  | 1:40     |
| WC                | 100mm | 1:60     |
| Stormwater        | 85mm  | 1:90     |
|                   | 100mm | 1:120    |
|                   | 150mm | 1:200    |

Connect to Kerb and channel or existing stormwater connection 1m min. front vehicle crossing. Plumber to assess and confirm on site

Connect to existing water supply (1 existing 5 new). Plumber to confirm location on site

1000 sewer drain @ 1:60. Connect to existing waste water branch (assumed 100mm) with inspection point. Plumber to confirm stability of wastewater pipework & repair if required.

Connect to existing water supply (1 existing 1 new). Plumber to confirm location on site

Connect to Kerb and channel or existing stormwater connection 1m min. front vehicle crossing. Plumber to assess and confirm on site

1000 sewer drain @ 1:60. Connect to existing waste water branch (assumed 100mm) with inspection point. Plumber to confirm stability of wastewater pipework & repair if required.



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**Doyle Street Development**  
14 - 16 Doyle Street, Blaketown, Greymouth

| STAGE              | REV | DATE       |
|--------------------|-----|------------|
| Concept            | A   | -          |
| Truss & Foundation | B   | 05/10/2023 |
| Resource Consent   | C   | 08/04/2024 |
|                    | -   | -          |
|                    | -   | -          |
|                    | -   | -          |
|                    | -   | -          |

| SHEET NAME         |                          | SCALE                        |     |
|--------------------|--------------------------|------------------------------|-----|
| SITE SERVICES PLAN |                          | 1:100<br>SCALE DOUBLED AT A3 |     |
| CLIENT             | Doyle Street Development | DRAWN                        | SB  |
| DATE               | 8/04/2024                | CHECKED                      | DBS |
| JOB NO.            | DW1470                   |                              |     |

REVISION  
**Resource Consent Issue**

DRAWING NO.  
**A104**

**B**



**2. FLOOR PLAN - UNITS 1-2**  
SCALE 1:50

**LEGEND - WALLS**

- 90mm Timber Framed Wall (external wall)**  
 - GIB wall lining (refer to finishes plan)  
 - 90 x 45mm studs @ 600 CRS, dwangs @ 800 CRS  
 - Building wrap  
 - 20mm drained cavity  
 - RCS Integra wall cladding
  
- 90mm Timber Framed Wall (external wall)**  
 - GIB wall lining (refer to finishes plan)  
 - 90 x 45mm studs @ 600 CRS, dwangs @ 480 CRS  
 - Building wrap  
 - 20mm drained cavity  
 - James Hardie Linea Oblique wall cladding
  
- 90mm Timber Framed Wall (internal wall)**  
 - GIB wall lining both sides (refer to finishes plan)  
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
  
- RCS INTA120a (intertennancy wall)**  
 - GIB wall lining (refer to finishes plan)  
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS  
 - 20mm cavity  
 - 50mm INTA120a panel  
 - 20mm cavity  
 - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS  
 - GIB wall lining (refer to finishes plan)

**WALL NOTES:**

**Top Plate Fixing:** Top plate to be fixed to studs @ 600 max CRS with 2-90 x 3.15 end nails + 2 wire dogs or 4.7kN alternative fixing unless noted otherwise

**Bottom Plate Fixing to Slab:** Proprietary anchor's @ 900 max CRS with 50x50x3 flat washer unless noted otherwise

**Bottom Plate Fixing to Timber:** Refer to "NZS3604:2011 Table 8.19 - Nailing Schedule for hand-driven and power-driven nails"

**GENERAL NOTES:**

All entries and exits to be in accordance with NZBC D1/AS1.  
 Anti-slip on all access routes (both external and internal) provide anti-slip surfaces complying with nzbc d1/as1/ table 2.

Floor finishes for wet area rooms to be slip resistant in accordance with NZBC D1/AS1 table 2 and also to be in accordance with NZBC E3 - Internal Moisture.

Kitchen bench top to comply with NZBC G3/AS1.

Mechanical ventilation for removing moisture shall be vented outside (includes wet areas, clothes dryer & cooking hood, refer nzbc g4/as1 1.3 c.ii.) mechanical ventilation to be 150mm dia 230 cu m/h inline fan ducted to soffit.

Smoke alarms - Cavius Smoke Alarm, be installed to NZBC F1/AS1 with hush facility (3.0m radius)

All exposed fixings to be stainless steel  
 Contractor to install all new plumbing fixtures and appliances to manufacturers specifications.

Contractor to furnish and install all hardware unless noted otherwise.

Contractor to provide all blocking as required for proper installation of item. In wall 20mm plywood blocking at all sink, wall scone and accessory locations.

DO NOT SCALE DRAWINGS. ALL CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING WORK OR ORDERING MATERIALS. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS AND VICE VERSA. ALL WORK SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE AND ALL RELEVANT AND ASSOCIATED STANDARDS, CODES AND TERRITORIAL AUTHORITY BYLAWS. ALL PROGRESSIVE ITEMS AND MATERIALS SHALL BE FIXED, INSTALLED OR APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALL WORK SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE BUILDING CONSENT AND ANY RESOURCE CONSENTS ISSUED FOR THIS PROJECT. SITE LEVELS SHOWN ARE AS EXISTING. REFER TO SURVEYOR FOR ACCURATE SITE PLAN DIMENSIONS. A REGISTERED SURVEYOR IS TO SET OUT THE BUILDING BEFORE CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR AMBIGUITY SHALL BE CLARIFIED WITH DESIGN WORKSHOP BEFORE ANY FURTHER WORK COMMENCEMENT. ALL RIGHTS RESERVED. THIS DRAWING & ALL GRAPHIC & WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES THE ORIGINAL & UNPUBLISHED WORK OF DESIGN WORKSHOP LTD. & MAY NOT BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR PART WITHOUT EXPRESSED WRITTEN PERMISSION. © DESIGN WORKSHOP LTD

**Doyle Street Development**  
 14 - 16 Doyle Street, Blaketown, Greymouth

| STAGE              | REV | DATE       |
|--------------------|-----|------------|
| Concept            | A   | -          |
| Truss & Foundation | B   | 05/10/2023 |
| Resource Consent   | C   | 08/04/2024 |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |

| SHEET NAME                    |                          |                                       |
|-------------------------------|--------------------------|---------------------------------------|
| <b>FLOOR PLAN - UNITS 1-2</b> |                          |                                       |
| CLIENT                        | Doyle Street Development | SCALE 1:50, 1:100 SCALE DOUBLED AT A3 |
| DATE                          | 08/04/2024               | DRAWN SB                              |
| JOB NO.                       | DW1470                   | CHECKED DBS                           |

REVISION  
**Resource Consent Issue**  
 DRAWING NO.  
**A201**



**B**



**2. FLOOR PLAN - UNITS 3-6**  
SCALE 1:50

**LEGEND - WALLS**

- 90mm Timber Framed Wall (external wall)
  - GIB wall lining (refer to finishes plan)
  - 90 x 45mm studs @ 600 CRS, dwangs @ 800 CRS
  - Building wrap
  - 20mm drained cavity
  - RCS Integra wall cladding
- 90mm Timber Framed Wall (external wall)
  - GIB wall lining (refer to finishes plan)
  - 90 x 45mm studs @ 600 CRS, dwangs @ 480 CRS
  - Building wrap
  - 20mm drained cavity
  - James Hardie Linea Oblique wall cladding
- 90mm Timber Framed Wall (internal wall)
  - GIB wall lining both sides (refer to finishes plan)
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
- RCS INTA120a (intertennancy wall)
  - GIB wall lining (refer to finishes plan)
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
  - 20mm cavity
  - 50mm INTA120a panel
  - 20mm cavity
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
  - GIB wall lining (refer to finishes plan)

**WALL NOTES:**

- Top Plate Fixing:** Top plate to be fixed to studs @ 600 max CRS with 2-9d x 3.15 end nails + 2 wire dogs or 4.7kN alternative fixing unless noted otherwise
- Bottom Plate Fixing to Slab:** Proprietary anchor's @ 900 max CRS with 5dX5dX3 flat washer unless noted otherwise
- Bottom Plate Fixing to Timber:** Refer to "NZS3604:2011 Table 8.19 - Nailing Schedule for hand-driven and power-driven nails"

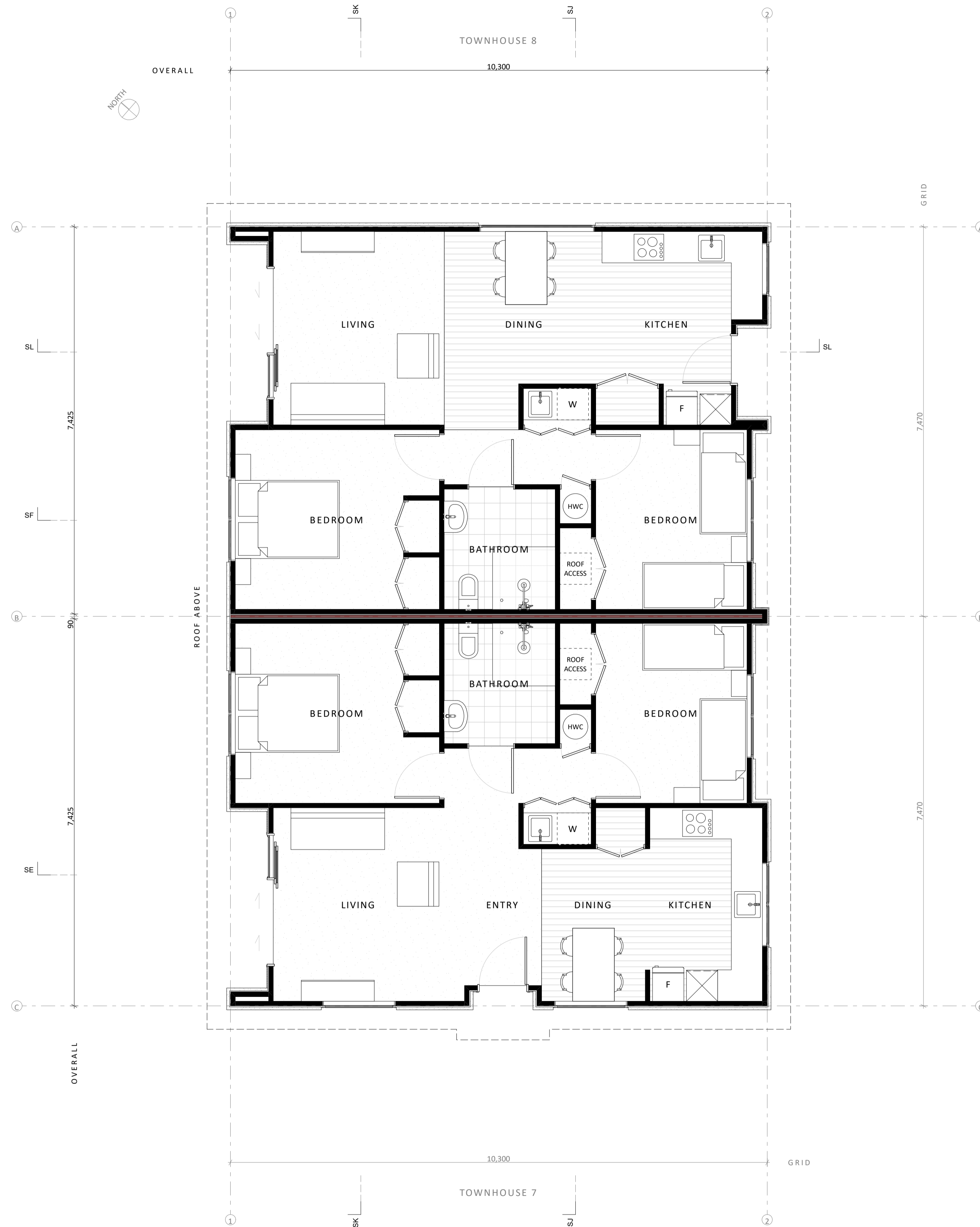
**GENERAL NOTES:**

- All entries and exits to be in accordance with NZBC D1/AS1.
- Anti-slip on all access routes (both external and internal) provide anti-slip surfaces complying with nzbc d1/as1/table 2.
- Floor finishes for wet area rooms to be slip resistant in accordance with NZBC D1/AS1 Table 2 and also to be in accordance with NZBC E3 - Internal Moisture.
- Kitchen bench top to comply with NZBC G3/AS1.
- Mechanical ventilation for removing moisture shall be vented outside (includes wet areas, clothes dryer & cooking hood. refer nzbc g4/as1 1.3.c.ii.) mechanical ventilation to be 150mm dia 230 cu m/h inline fan ducted to soffit.
- Smoke alarms - Cavius Smoke Alarm, be installed to NZBC F1/AS1 with hush facility (3.0m radius)
- All exposed fixings to be stainless steel
- Contractor to install all new plumbing fixtures and appliances to manufacturers specifications.
- Contractor to furnish and install all hardware unless noted otherwise.
- Contractor to provide all blocking as required for proper installation of item. In wall 20mm plywood blocking at all sink, wall sconce and accessory locations.

| STAGE              | REV | DATE       |
|--------------------|-----|------------|
| Concept            | A   | -          |
| Truss & Foundation | B   | 05/10/2023 |
| Resource Consent   | C   | 08/04/2024 |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |

| SHEET NAME                    |                          |                                       |
|-------------------------------|--------------------------|---------------------------------------|
| <b>FLOOR PLAN - UNITS 3-6</b> |                          |                                       |
| CLIENT                        | Doyle Street Development | SCALE 1:50, 1:100 SCALE DOUBLED AT A3 |
| DATE                          | 8/04/2024                | DRAWN SB                              |
| JOB NO.                       | DW1470                   | CHECKED DBS                           |

**B**



2. FLOOR PLAN - UNITS 7-8  
SCALE 1:50

**LEGEND - WALLS**

- 90mm Timber Framed Wall (external wall)**
  - GIB wall lining (refer to finishes plan)
  - 90 x 45mm studs @ 600 CRS, dwangs @ 800 CRS
  - Building wrap
  - 20mm drained cavity
  - RCS Integra wall cladding
- 90mm Timber Framed Wall (external wall)**
  - GIB wall lining (refer to finishes plan)
  - 90 x 45mm studs @ 600 CRS, dwangs @ 480 CRS
  - Building wrap
  - 20mm drained cavity
  - James Hardie Linea Oblique wall cladding
- 90mm Timber Framed Wall (internal wall)**
  - GIB wall lining both sides (refer to finishes plan)
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
- RCS INTA120a (intertennancy wall)**
  - GIB wall lining (refer to finishes plan)
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
  - 20mm cavity
  - 50mm INTA120a panel
  - 20mm cavity
  - 90x45mm studs @ 600 CRS, dwangs @ 800 CRS
  - GIB wall lining (refer to finishes plan)

**WALL NOTES:**

**Top Plate Fixing:** Top plate to be fixed to studs @ 600 max CRS with 2-90 x 3.15 end nails + 2 wire dogs or 4.7kN alternative fixing unless noted otherwise

**Bottom Plate Fixing to Slab:** Proprietary anchor's @ 900 max CRS with 50x50x3 flat washer unless noted otherwise

**Bottom Plate Fixing to Timber:** Refer to "NZS3604:2011 Table 8.19 - Nailing Schedule for hand-driven and power-driven nails"

**GENERAL NOTES:**

- All entries and exits to be in accordance with NZBC D1/AS1.
- Anti-slip on all access routes (both external and internal) provide anti-slip surfaces complying with nzbc d1/as1/ table 2.
- Floor finishes for wet area rooms to be slip resistant in accordance with NZBC D1/AS1 table 2 and also to be in accordance with NZBC E3 - Internal Moisture.
- Kitchen bench top to comply with NZBC G3/AS1.
- Mechanical ventilation for removing moisture shall be vented outside (includes wet areas, clothes dryer & cooking hood. refer nzbc g4/as1 1.3 c.ii.) mechanical ventilation to be 150mm dia 230 cu m/h inline fan ducted to soffit.
- Smoke alarms - Cavius Smoke Alarm, be installed to NZBC F1/AS1 with hush facility (3.0m radius)
- All exposed fixings to be stainless steel
- Contractor to install all new plumbing fixtures and appliances to manufacturers specifications.
- Contractor to furnish and install all hardware unless noted otherwise.
- Contractor to provide all blocking as required for proper installation of item. In wall 20mm plywood blocking at all sink, wall sconce and accessory locations.

**B**



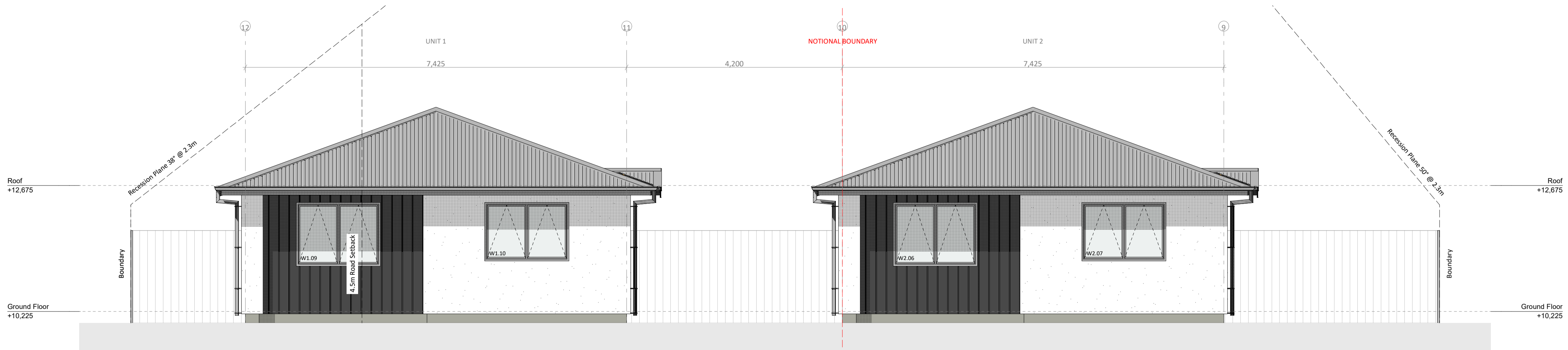
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**Doyle Street Development**  
14 - 16 Doyle Street, Blaketown, Greymouth

| STAGE              | REV | DATE       |
|--------------------|-----|------------|
| Concept            | A   | -          |
| Truss & Foundation | B   | 05/10/2023 |
| Resource Consent   | C   | 08/04/2024 |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |

| SHEET NAME             |                          |                                       |
|------------------------|--------------------------|---------------------------------------|
| FLOOR PLAN - UNITS 7-8 |                          |                                       |
| CLIENT                 | Doyle Street Development | SCALE 1:50, 1:100 SCALE DOUBLED AT A3 |
| DATE                   | 08/04/2024               | DRAWN SB                              |
| JOB NO.                | DW1470                   | CHECKED DBS                           |

| REVISION               |  |
|------------------------|--|
| Resource Consent Issue |  |
| DRAWING NO.            |  |
| <b>A401</b>            |  |



E01 NORTH EAST ELEVATION - UNIT 1-2  
SCALE 1:50



E02 SOUTH EAST ELEVATION - UNIT 1  
SCALE 1:50



E03 NORTH WEST ELEVATION - UNIT 1  
SCALE 1:50

LEGEND

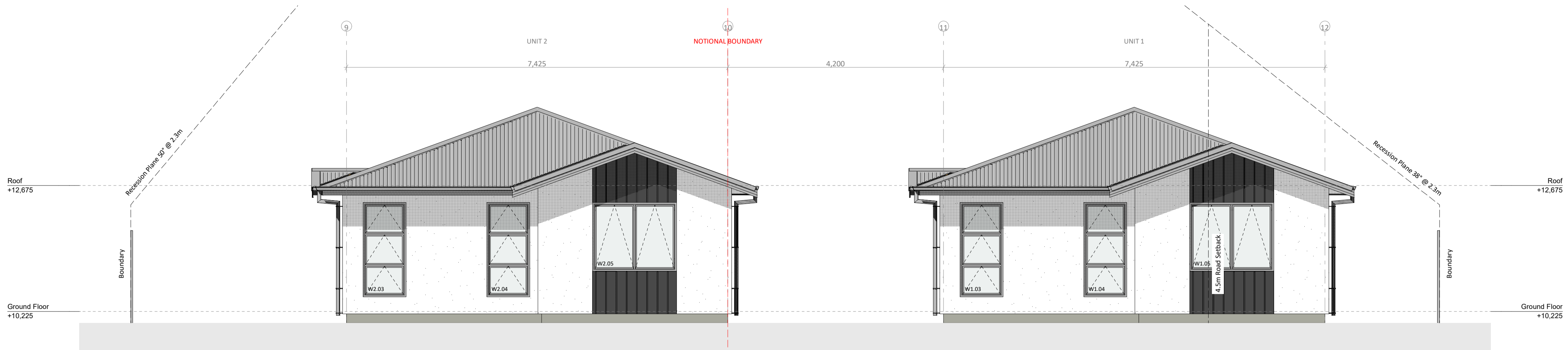
- Roof Cladding: Corrugate  
Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermkraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
- Wall Cladding: RCS Integra  
Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
- Wall Cladding: James Hardie Linea Oblique  
James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
- Permanently Obscured Glass  
Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

B

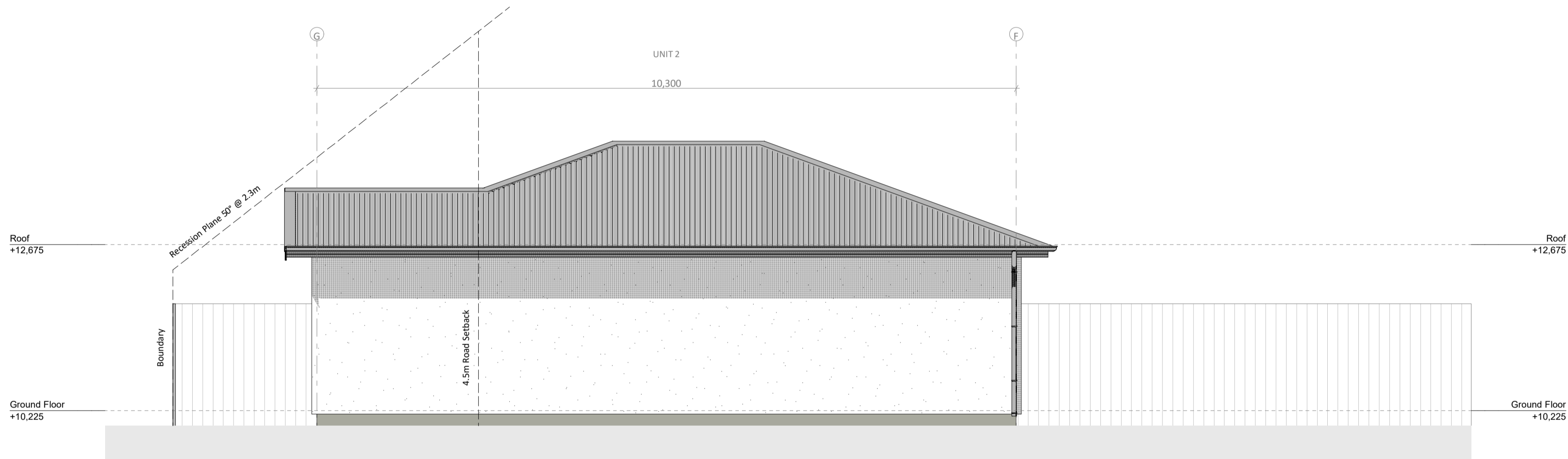
| STAGE              | REV | DATE       |
|--------------------|-----|------------|
| Concept            | A   | -          |
| Truss & Foundation | B   | 05/10/2023 |
| Resource Consent   | C   | 08/04/2024 |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |

| SHEET NAME        |                          |         |                                    |
|-------------------|--------------------------|---------|------------------------------------|
| <b>ELEVATIONS</b> |                          |         |                                    |
| CLIENT            | Doyle Street Development | SCALE   | 1:50, 1:100<br>SCALE DOUBLED AT A3 |
| DATE              | 8/04/2024                | DRAWN   | SB                                 |
| JOB NO.           | DW1470                   | CHECKED | DBS                                |





E-04 SOUTH WEST ELEVATION - UNIT 1-2  
SCALE 1:50



E-05 SOUTH EAST ELEVATION - UNIT 2  
SCALE 1:50



E-06 NORTH WEST ELEVATION - UNIT 2  
SCALE 1:50

**LEGEND**

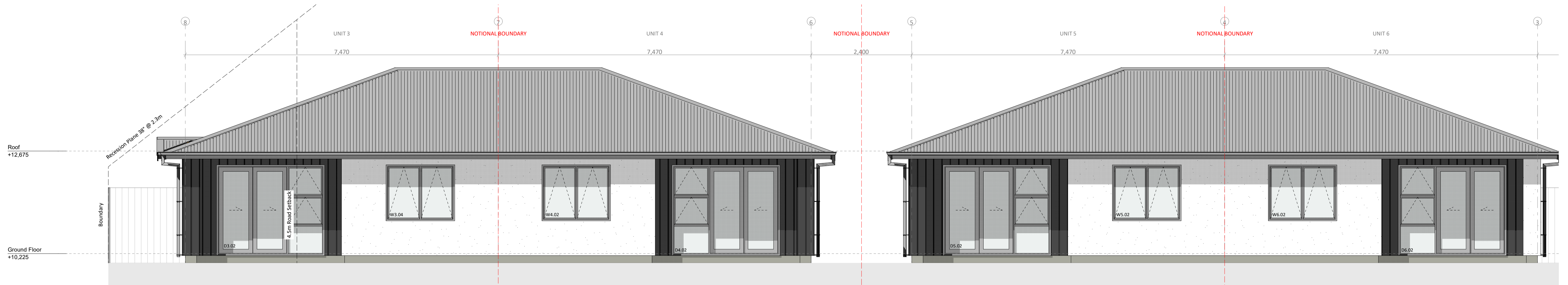
- Roof Cladding: Corrugate  
Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermakraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
- Wall Cladding: RCS Integra  
Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
- Wall Cladding: James Hardie Linea Oblique  
James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
- Permanently Obscured Glass  
Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

B

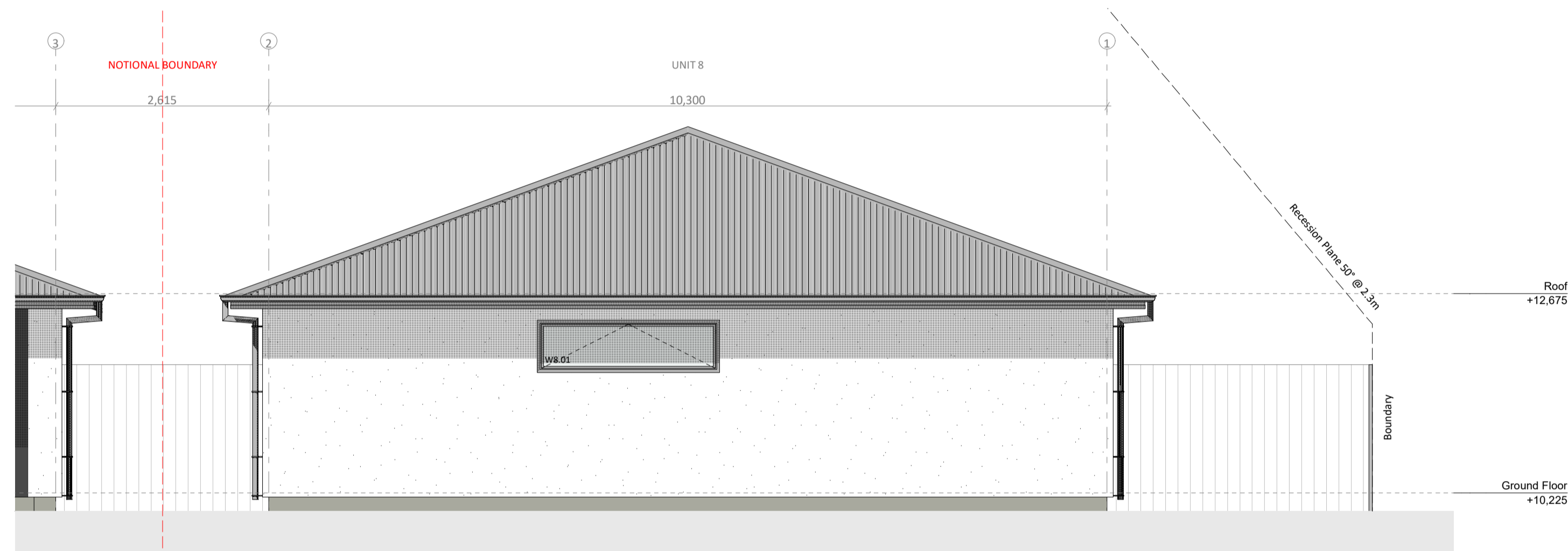
| STAGE              | REV | DATE       |
|--------------------|-----|------------|
| Concept            | A   | -          |
| Truss & Foundation | B   | 05/10/2023 |
| Resource Consent   | C   | 08/04/2024 |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |

| SHEET NAME        |                                    |
|-------------------|------------------------------------|
| <b>ELEVATIONS</b> |                                    |
| CLIENT            | Doyle Street Development           |
| SCALE             | 1:50, 1:100<br>SCALE DOUBLED AT A3 |
| DATE              | 08/04/2024                         |
| DRAWN             | SB                                 |
| JOB NO.           | DW1470                             |
| CHECKED           | DBS                                |

| REVISION                      |  |
|-------------------------------|--|
| <b>Resource Consent Issue</b> |  |
| DRAWING NO.                   |  |
| <b>A602</b>                   |  |



E07 NORTH EAST ELEVATION - UNIT 3-8  
SCALE 1:50







E07 CONTINUED  
SCALE 1:50

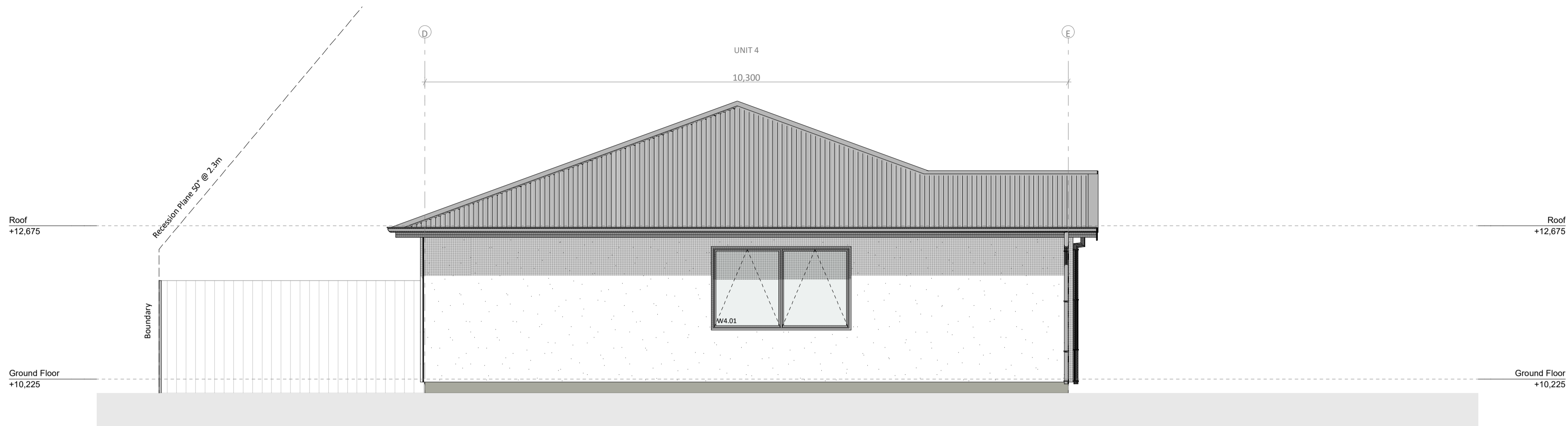


E08 SOUTH EAST ELEVATION - UNIT 3  
SCALE 1:50

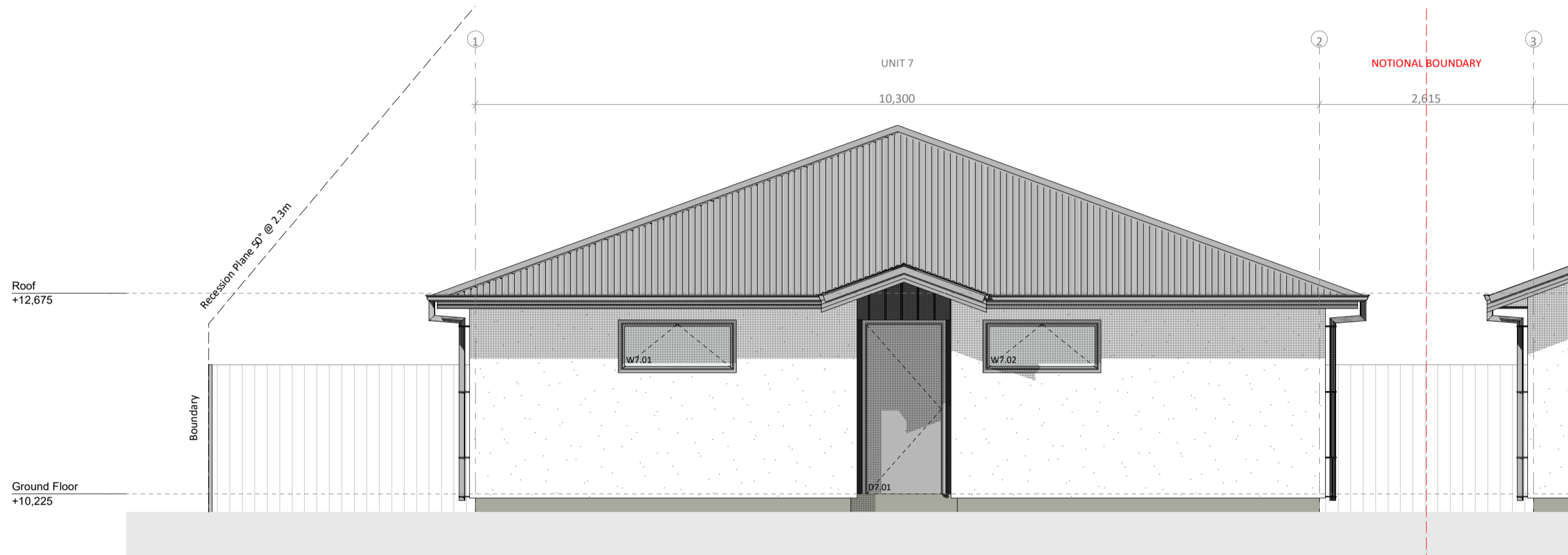
LEGEND

-  Roof Cladding: Corrugate  
Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermkraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
-  Wall Cladding: RCS Integra  
Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
-  Wall Cladding: James Hardie Linea Oblique  
James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
-  Permanently Obscured Glass  
Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

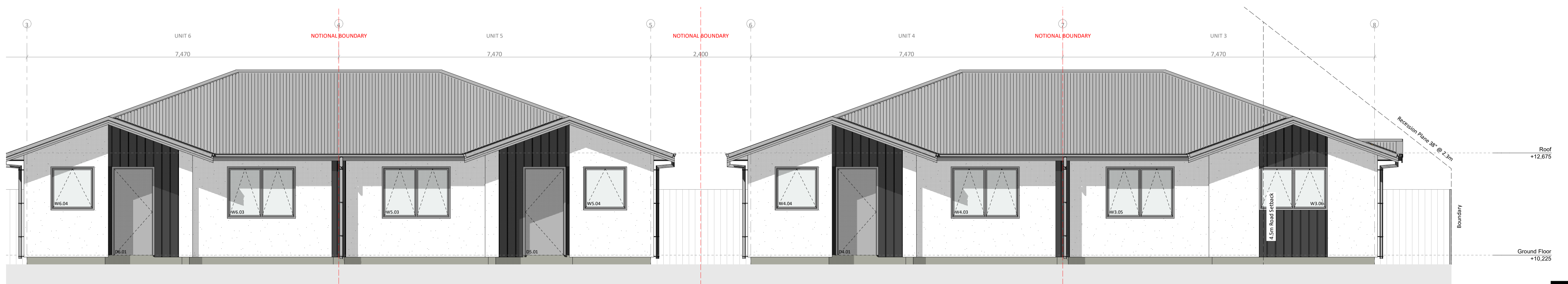
B



E09 NORTH WEST ELEVATION - UNIT 4  
SCALE 1:50



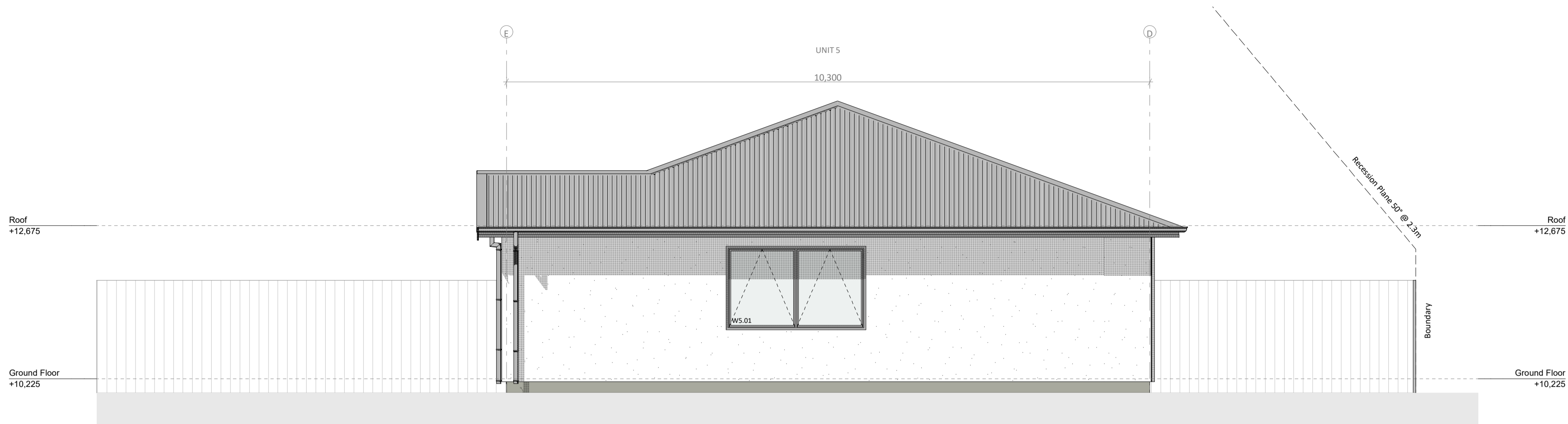
E10 SOUTH WEST ELEVATION - UNIT 3-7  
SCALE 1:50



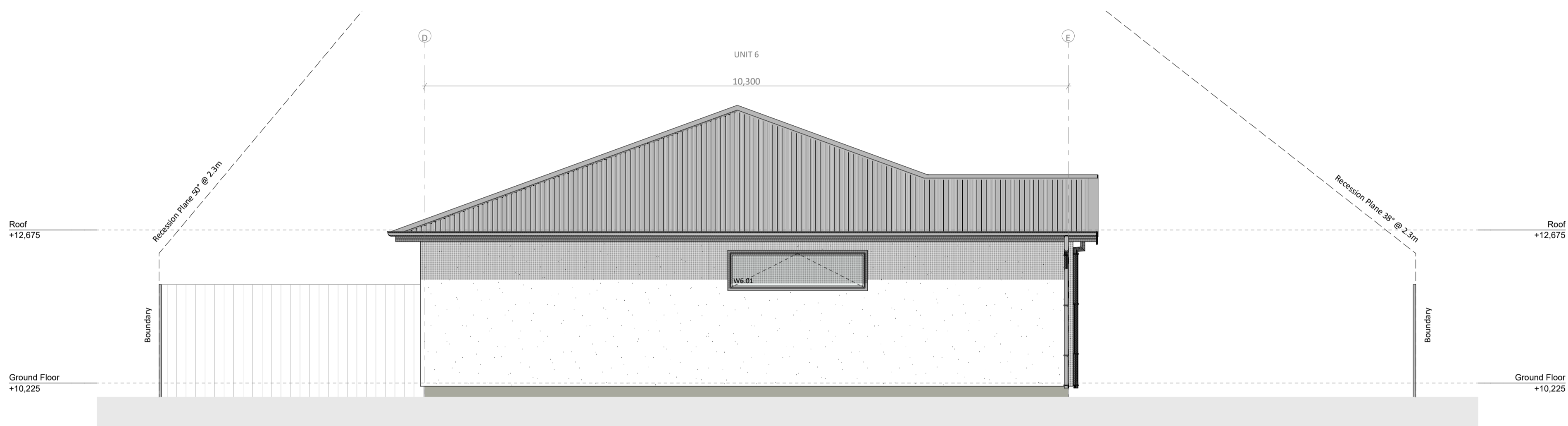
E10 CONTINUED  
SCALE 1:50

LEGEND

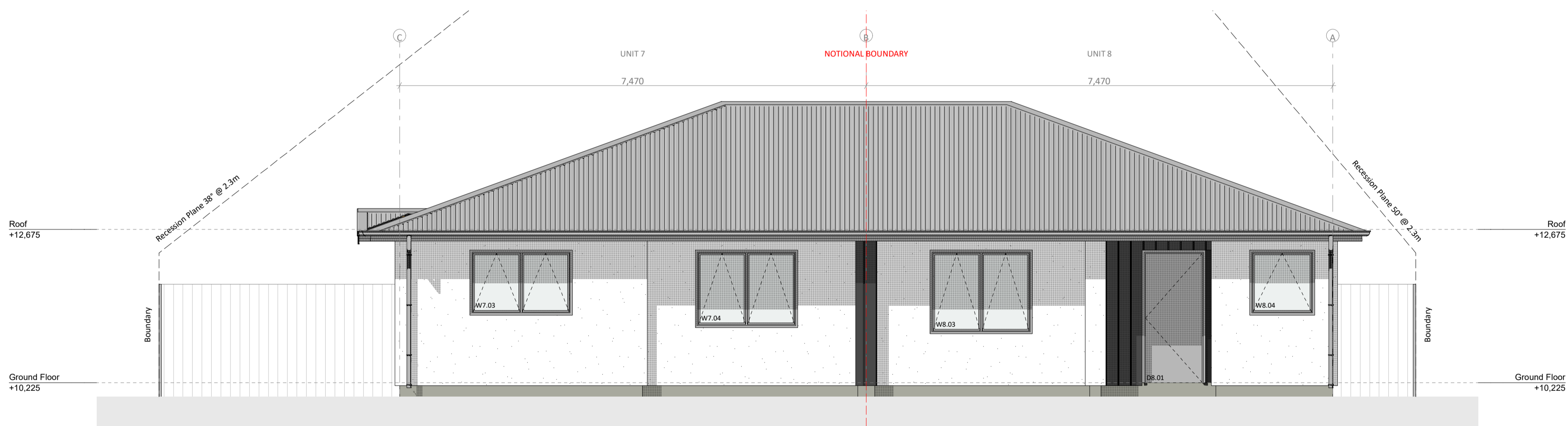
- Roof Cladding: Corrugate  
 Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermakraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
- Wall Cladding: RCS Integra  
 Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
- Wall Cladding: James Hardie Linea Oblique  
 James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
- Permanently Obscured Glass  
 Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1



E11 SOUTH EAST ELEVATION - UNIT 5  
SCALE 1:50







E12 NORTH WEST ELEVATION - UNIT 6  
SCALE 1:50



E13 SOUTH EAST ELEVATION - UNIT 7-8  
SCALE 1:50





LEGEND

-  Roof Cladding: Corrugate  
 Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermkraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
-  Wall Cladding: RCS Integra  
 Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
-  Wall Cladding: James Hardie Linea Oblique  
 James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
-  Permanently Obscured Glass  
 Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

B



**E14 NORTH WEST ELEVATION - UNIT 7-8**  
SCALE 1:50

- LEGEND**
-  Roof Cladding: Corrugate  
Dimond Corrugate (0.55mm BMT) Colorsteel Endura roof cladding on Thermakraft Covertek 401 roof underlay on 70x45 H1.2 SG8 timber purlins @ 900 CRS. Finish TBC
  -  Wall Cladding: RCS Integra  
Resene Construction Systems (RCS) Integra Lightweight Concrete Facade System. 50mm panel on 20mm drained cavity on building wrap. Finish TBC
  -  Wall Cladding: James Hardie Linea Oblique  
James Hardie Linea Oblique Weatherboards. 200mm vertical boards on 20mm drained cavity on building wrap. Finish TBC
  -  Permanently Obscured Glass  
Permanently Obscured glazing as per 14.5.2.8 of CCC district plan
- Gutter with finish to match roofing fixed to fascia. Falls as shown on roof plan
- Downpipes to be 80Ø, finish & colour to match roofing (UNO)
- Powder coated aluminium exterior windows and doors in selected finish
- Double glazed windows and doors with Grade A safety glass to all glazing within 800mm above finished floor level, or in wet areas in accordance with NZBC F2/AS1

**B**



**Design Workshop Architecture**  
www.dwa.co.nz | info@dwa.co.nz | 91059 Ferry Road, Ferrywood, Christchurch

DO NOT SCALE DRAWINGS. ALL CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING WORK OR ORDERING MATERIALS. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS AND VICE VERSA. ALL WORK SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE AND ALL RELEVANT AND ASSOCIATED STANDARDS, CODES AND TERRITORIAL AUTHORITY BYLAWS. ALL PROGRESSIVE ITEMS AND MATERIALS SHALL BE FIXED, INSTALLED OR APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALL WORK SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE BUILDING CONSENT AND ANY RESOURCE CONSENTS ISSUED FOR THIS PROJECT. SITE LEVELS SHOWN ARE AS EXISTING. REFER TO SURVEYOR FOR ACCURATE SITE PLAN DIMENSIONS. A REGISTERED SURVEYOR IS TO SET OUT THE BUILDING BEFORE CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR AMBIGUITY SHALL BE CLARIFIED WITH DESIGN WORKSHOP BEFORE ANY FURTHER WORK COMMENCEMENT. ALL RIGHTS RESERVED. THIS DRAWING & ALL GRAPHIC & WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES THE ORIGINAL & UNPUBLISHED WORK OF DESIGN WORKSHOP LTD. & MAY NOT BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR PART WITHOUT EXPRESSED WRITTEN PERMISSION. © DESIGN WORKSHOP LTD

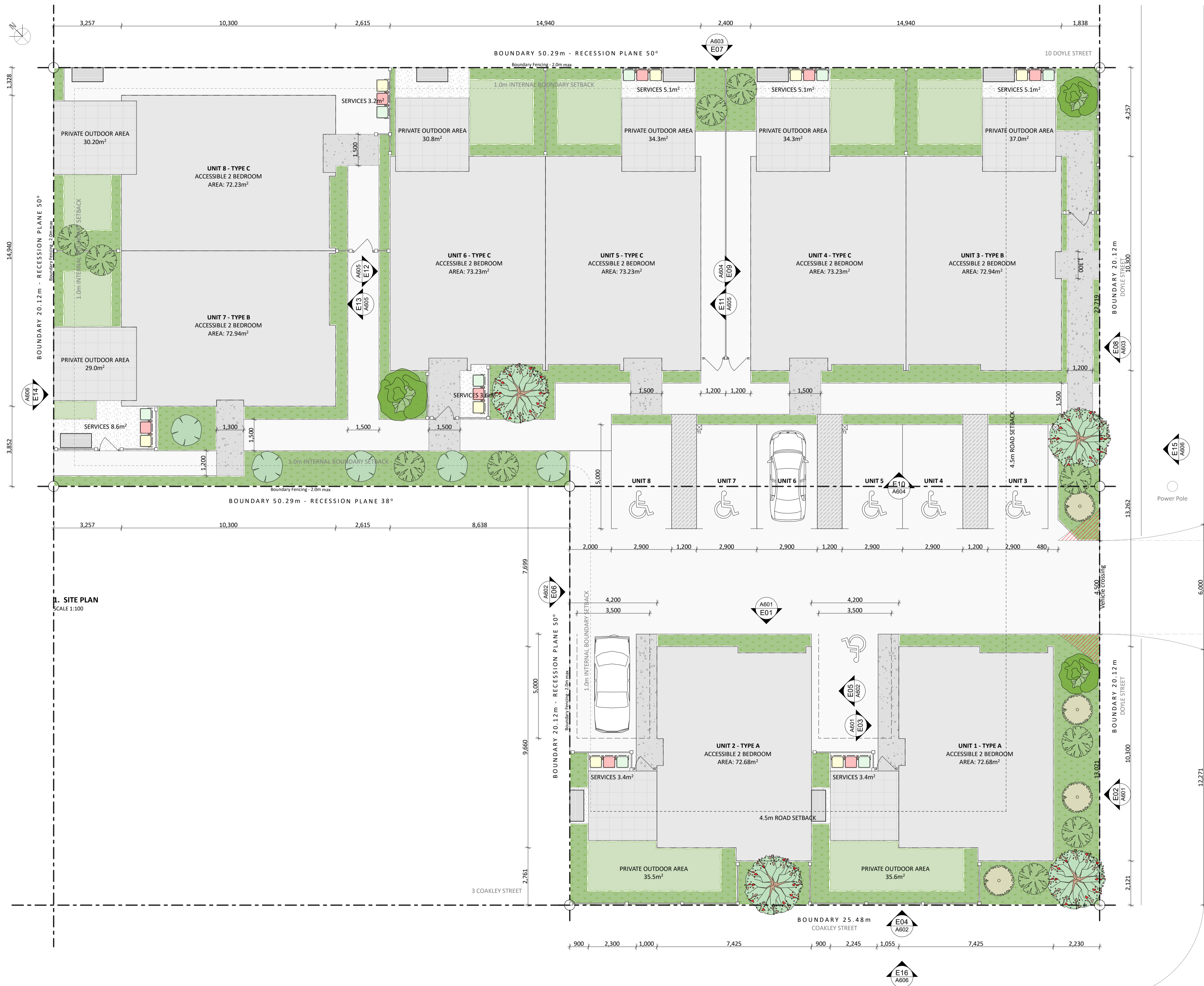
**Doyle Street Development**  
14 - 16 Doyle Street, Blaketown, Greymouth

| STAGE              | REV | DATE       |
|--------------------|-----|------------|
| Concept            | A   | -          |
| Truss & Foundation | B   | 05/10/2023 |
| Resource Consent   | C   | 08/04/2024 |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |
| -                  | -   | -          |

| SHEET NAME        |                          |                                          |
|-------------------|--------------------------|------------------------------------------|
| <b>ELEVATIONS</b> |                          |                                          |
| CLIENT            | Doyle Street Development | SCALE 1:50, 1:100<br>SCALE DOUBLED AT A3 |
| DATE              | 8/04/2024                | DRAWN SB                                 |
| JOB NO.           | DW1470                   | CHECKED DBS                              |

REVISION  
**Resource Consent Issue**

DRAWING NO.  
**A606**



**PROJECT INFO:**

Address: 14 - 16 Doyle Street  
Blaketown  
Greymouth

Legal Description: Lot 4 DP 3326  
Lot 2 DP 415

Site Area: 1524m<sup>2</sup> (more or less)

Site Coverage: 38.31%

Planning Zone: Grey District Residential

FMA: Yes

Min. FFL: -

Wind Zone: Medium

Earthquake Zone: 3

Exposure Zone: D

Climate Zone: 4

- SITE PLAN LEGEND**
- Boundary Line
  - Boundary setback as per GDC District Plan
  - Buildings/Proposed Buildings
  - Main Hardstand
    - Asphalt
    - 1:100 min. falls as shown
    - Slip resistance to comply with NZBC D1/AS1
  - Secondary Hardstand
    - Concrete
    - 1:100 min. falls as shown
    - Slip resistance to comply with NZBC D1/AS1
  - Deck/Patio
  - Artificial Grass
  - Garden Beds
  - Visibility Splay
    - 2x1.5m clear visibility. Planting to be no higher than 1m

**SITE PLAN GENERAL NOTES**

Contractor to confirm all dimensions on site.

Confirm all existing services on site.

All drawings to be read in conjunction with engineering/consultants documentation.

Contractor to confirm with designer if there is a conflict between consultant documentation and accepts liability for decisions made without consultation.

All unpaved areas are to be a minimum of 225mm below Finished Floor Level. Paved areas to be a minimum of 150mm.

Work area shall be protected by site fencing to comply with FS.



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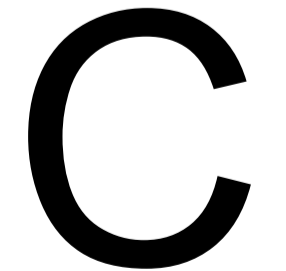
**Doyle Street Development**  
14 - 16 Doyle Street, Blaketown, Greymouth

| STAGE                 | REV | DATE       |
|-----------------------|-----|------------|
| Concept               | A   | -          |
| Truss & Foundation    | B   | 05/10/2023 |
| Resource Consent      | C   | 08/04/2024 |
| Resource Consent RfIs | D   | 09/05/2024 |

| SHEET NAME       |                          | SCALE                        |     |
|------------------|--------------------------|------------------------------|-----|
| <b>SITE PLAN</b> |                          | 1:100<br>SCALE DOUBLED AT A3 |     |
| CLIENT           | Doyle Street Development | DRAWN                        | SB  |
| DATE             | 9/05/2024                | CHECKED                      | DBS |
| JOB NO.          | DW1470                   |                              |     |

REVISION  
**Resource Consent RfIs**

DRAWING NO.  
**A102**





1. LANDSCAPING PLAN  
SCALE 1:100

- LANDSCAPING LEGEND**
- Main Hardstand
    - Asphalt
    - 1:100 min. falls as shown
    - Slip resistance to comply with NZBC D1/AS1
  - Secondary Hardstand
    - Concrete
    - 1:100 min. falls as shown
    - Slip resistance to comply with NZBC D1/AS1
  - Deck/Patio
  - Service Area
    - Lime chip finish
  - Artificial Grass
  - Garden Beds
    - GB1 - Shrub Mix - an assortment of the following:
      - Makaka/NZ Broom (Carmichaelia Australis)
      - Mikimiki (Coprosma Propinqua)
      - Niniao (Helichrysum Lanceolatum)
      - Shrub Pohuehue (Muehlenbeckia Astonii)
      - Tauhinu/Cottonwood (Ozothamnus leptophyllus)
    - GB2 - Ground Cover - an assortment of the following:
      - Piripiri/Biddibid (Acaena Novae-Zelandiae)
      - Nihinihi/Sand Convolvulus (Calystegia Soldanella)
      - Rauhuia (Linum Monogynum)
      - Mat Pohuehue (Muehlenbeckia Axillaris)
      - Sand Daphne (Pimelea Villosa)
  - Washing Line
    - foldable washing line on fence
- FENCING LEGEND**
- Timber Fence
    - 1800mm High (provide separation between units)
    - 150x19 Rough sawn paings overlapped capping
    - Unpainted
    - Boundary Fence 2.0m max (enclose outdoor area)
  - Metal Gate
    - 1200mm High
    - Permeable metal gate
- PLANT LEGEND**
- T1 - Manuka, Tea Tree (Leptospermum Scoparium)
  - T2 - Kowhai Tree (Sophora Microphylla)
  - T3 - Akiraho, Golden Akeake (Olearia Paniculata)
  - T4 - Japanese Maple (Acer Palmatum)
  - T5 - Cherry Tree (Prunus Accolade)



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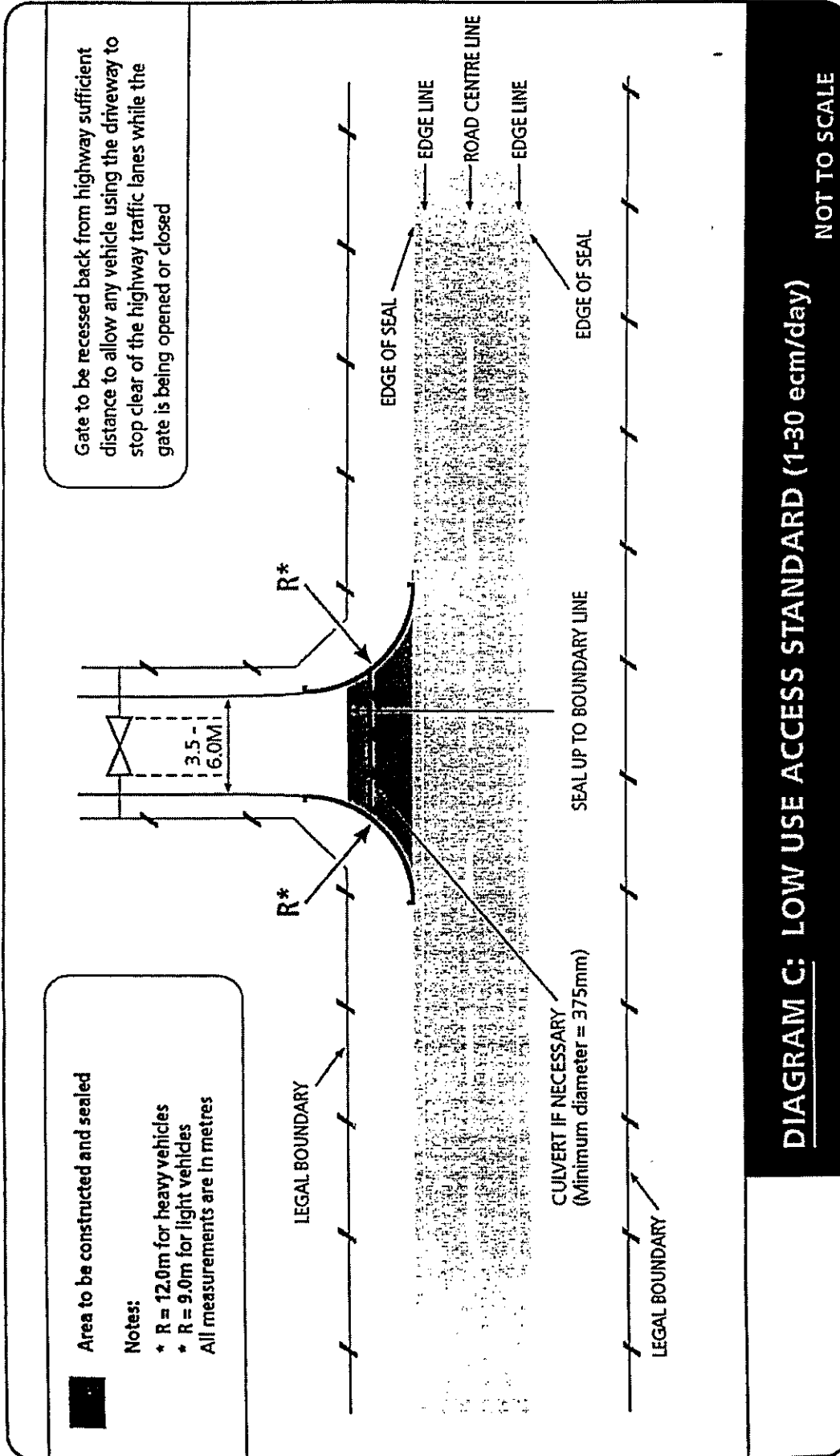
**Doyle Street Development**  
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| Resource Consent      | C   | 08/04/2024 |
| Resource Consent RFIs | D   | 09/05/2024 |
| -                     | -   | -          |
| -                     | -   | -          |
| -                     | -   | -          |

| SHEET NAME                   |                          |                                    |
|------------------------------|--------------------------|------------------------------------|
| <b>SITE LANDSCAPING PLAN</b> |                          |                                    |
| CLIENT                       | Doyle Street Development | SCALE 1:100<br>SCALE DOUBLED AT A3 |
| DATE                         | 9/05/2024                | DRAWN SB                           |
| JOB NO.                      | DW1470                   | CHECKED DBS                        |

| REVISION                     |  |
|------------------------------|--|
| <b>Resource Consent RFIs</b> |  |
| DRAWING NO.                  |  |
| <b>A105</b>                  |  |

**C**



Note:

1. For Unsealed rural roads, sealing the driveway is not required.
2. The area to be sealed may be reduced to 3m with approval of network Managers.